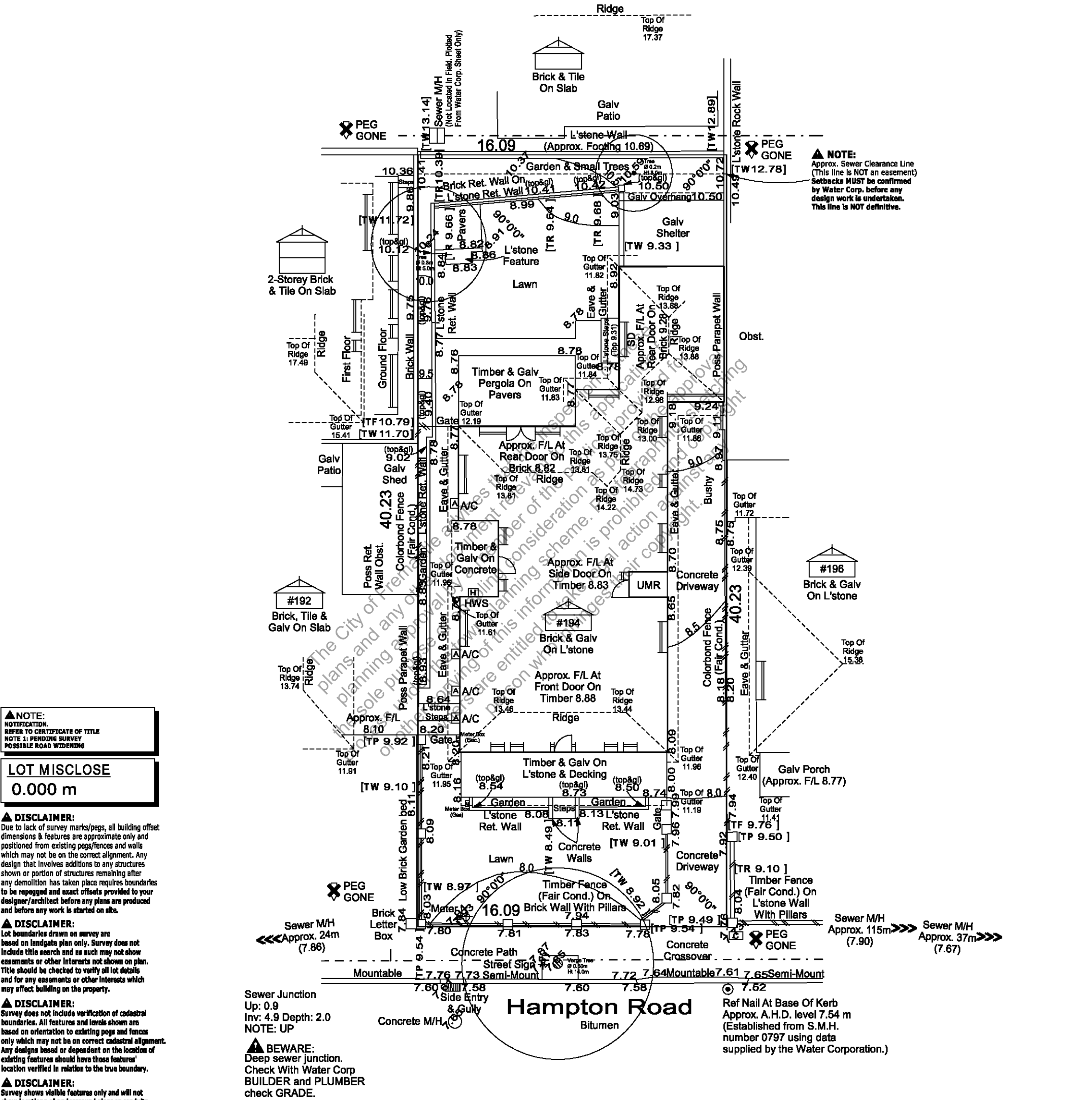


+	Power Dome
○	Power Pole
□	Phone Pts
□	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

**CITY OF FREMANTLE**  
**These Plans Form Part of**  
**DA0079/25**  
**19 Mar 2025**



**NOTE:**  
 NOTIFICATION.  
 REFER TO CERTIFICATE OF TITLE  
 NOTE 1: PENDING SURVEY  
 POSSIBLE ROAD WIDENING

**LOT MISCLOSE**  
 0.000 m

**DISCLAIMER:**  
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Sewer Junction  
 Up: 0.9  
 Inv: 4.9 Depth: 2.0  
 NOTE: UP

**BEWARE:**  
 Deep sewer junction.  
 Check With Water Corp  
 BUILDER and PLUMBER  
 check GRADE.

Ref Nail At Base Of Kerb  
 Approx. A.H.D. level 7.54 m  
 (Established from S.M.H.  
 number 0797 using data  
 supplied by the Water Corporation.)

Scale 1:200  
 0 2 4 6 8



87-89 Guthrie Street  
 Osborne Park, WA 6017  
 PO Box 1611  
 Osborne Park  
 Business Centre WA 6917

<b>JOB #</b>	541935	<b>GPS</b>	Lat: -32.068956 Long: 115.758042
<b>CLIENT</b>	Baudains	<b>LOT</b>	Lot 148 (Plan 4112)
<b>ADDRESS</b>	#194 Hampton Road	<b>AREA</b>	647m <sup>2</sup>
<b>SUBURB</b>	Beaconsfield	<b>VOL.</b>	1938
<b>LGA</b>	CITY OF FREMANTLE	<b>FOL.</b>	737
<b>DRAWN</b>	B. Smith	<b>DATE</b>	22 Feb 23
		<b>SSA No</b>	

<b>ROADS</b>	Bitumen
<b>KERBS</b>	Mountable / Semi-Mount
<b>FOOTPATH</b>	Concrete
<b>SOIL</b>	Sand
<b>DRAINAGE</b>	Good
<b>VEGETATION</b>	Refer To Survey

<b>ELEC.</b>	U/Ground
<b>COMMS.</b>	Yes
<b>WATER</b>	Yes
<b>GAS</b>	Check AllInta
<b>SEWER</b>	Yes
<b>COASTAL</b>	800m To Ocean (Approximate Only Confirm With Shire)

**NOTE:**

- Numbers and positions of downpipes are indicative only and are subject to variation by roof plumber on site. All downpipes shall be installed in accordance with the NCC 2022 Part 7.4 & AS 3500.3
- Connect new downpipes to existing stormwater systems if possible or add new soakwells of suitable size if necessary.
- Overflow measures to gutters in accordance with NCC 2022 Part 7.4.5 & 7.4.6

**termite treatment**

All primary building elements used for the construction of this building will be consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 & will comply with part 3.1.4 of 2019 NCC Vol. II amendment 1.

**NOTE:**

All measurements are approximate only. It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials.

**NOTE:**

Alfresco 2 & Garden by others

**OVERSHADOWING CALCULATIONS:**

No. 196 HAMPTON ROAD: 647m<sup>2</sup>  
 TOTAL OVERSHADOWING: 91.84m<sup>2</sup>  
 OVERSHADOWING % (25% max allowed): 14.19%

**NOTE:**  
 CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK. ALL DIMENSIONS ARE TO CORE BRICKWORK/STUDWORK ONLY AND DO NOT INCLUDE TILE AND/OR WALL FINISHES UNLESS NOTED OTHERWISE.  
 EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY. NEW BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES. EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.

- CONSTRUCTION NOTES:**
- TERMITE TREATMENT TO NCC VOL. II REQUIREMENTS
  - ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700-MASONRY CODE
  - ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 3660.1
  - UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
  - ALLOW FOR ADDITIONAL RETICULATION IN ACCORDANCE WITH AS.
  - ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
  - ALL STORM WATER WILL BE CONTAINED ON SITE.
  - TERMITE TREATMENT INCLUDING PHYSICAL BARRIER TO WALLS ON BOUNDARIES TO COMPLY WITH AS3660 (2014).
  - METAL ROOF CLADDING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1(1992).
  - STAIRS SHALL BE CONSTRUCTED IN WITH THE NCC VOL. II PART 3.9.1.
  - THE SLIP-RESISTANCE TREATMENT TO STAIRS TREADS, RAMPS AND LANDINGS MUST BE IN ACCORDANCE WITH NCC VOL. II PT 3.9.14
  - BALUSTRADES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NCC VOL. II PART 3.9.2
  - HANDRAILS SHALL BE PROVIDED IN ACCORDANCE WITH THE NCC VOL. II PART 3.9.2
  - PROTECTIVE COATINGS FOR STEELWORK SHALL BE IN ACCORDANCE WITH THE NCC VOL. II TABLE 3.4.4.2.
  - PROVIDE ADEQUATE METHODS OF WATERPROOFING TO ENSURE WET AREAS & INNER PARTS OF THE BUILDING ARE PROTECTED IN ACCORDANCE WITH NCC PART 3.8.1 & AS3740.
  - EVERY PLUMBING FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600 AND BYLAWS MADE UNDER THE METROPOLITAN WATER SUPPLY SEWERAGE AND DRAINAGE ACT 1909 AND SHALL HAVE AN ADEQUATE SUPPLY OF WATER.

**CITY OF FREMANTLE**  
 These Plans Form Part of  
**DA0079/25**  
**19 Mar 2025**

**SITE COVERAGE:**

LOT AREA: 647.30m<sup>2</sup>  
 LOT ZONING: R25  
 TOTAL FLOOR AREA: 260.33m<sup>2</sup>  
 TOTAL SITE COVERAGE: 40.21%  
 TOTAL OPEN SPACE: 59.79%  
 (50% min. required)

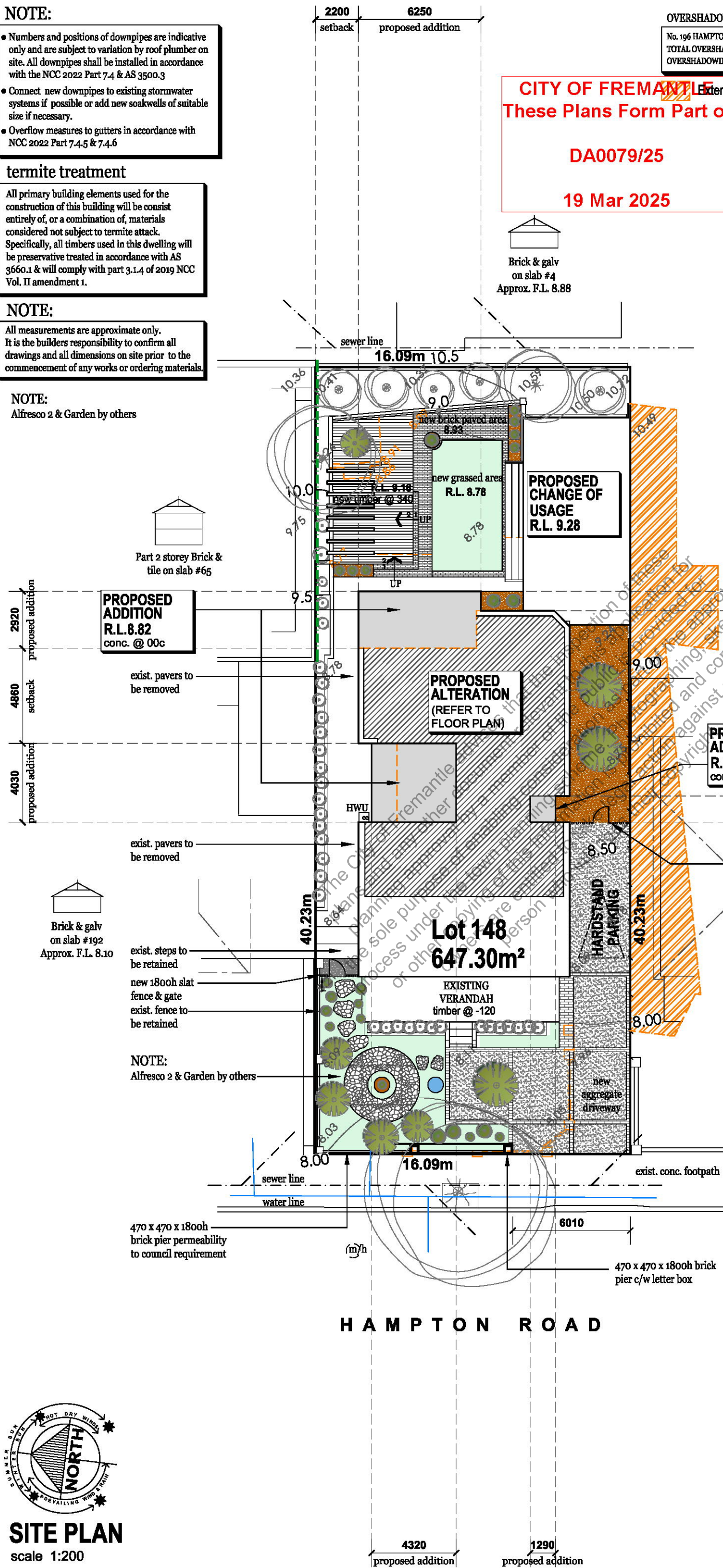
**FLOOR AREA CALCULATION:**

EXIST. AREA (RETAINED): 179.01m<sup>2</sup>  
 NEW AREA: 24.01m<sup>2</sup>  
 NEW ALFRESCO 1: 36.96m<sup>2</sup>  
 NEW ALFRESCO 2: 30.76m<sup>2</sup>  
 EXIST. STORE: 20.35m<sup>2</sup>  
 EXIST. VERANDAH: 23.20m<sup>2</sup>  
 TOTAL AREA: 314.29m<sup>2</sup>

**NOTE:**  
 laminated beams in existing living area to be salvaged for re-use

**NOTE:**  
 selected items such as doors, windows, HWU to be salvaged during demolition for sale

**NOTE:**  
 Landscape contractor to liaise with electrical contractor for switched power supplies for garden lighting.



- INDICATES:**
- extent of new aggregate
  - proposed alterations
  - extent of new
  - extent of grassed area
  - Existing Ground levels to be modified
  - Existing Ground Levels (maintained)
  - contour lines
  - texture coat render



**Issued for Building Licence**

<b>WD - SITE PLAN</b>		
<b>PROPOSED ADDITION AT 194 HAMPTON ROAD, BEACONSFIELD</b>		
CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.		
REV: A	OS (RS)	1 of 11
JOB: 1697	17.03.2025	

**SITE PLAN**  
 scale 1:200

**NOTE:**

All measurements are approximate only. It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials.

**termite treatment**

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**NOTE:**

- Numbers and positions of downpipes are indicative only and are subject to variation by roof plumber on site. All downpipes shall be installed in accordance with the NCC 2022 Part 7.4 & AS 3500.3
- Connect new downpipes to existing stormwater systems if possible or add new soakwells of suitable size if necessary.
- Overflow measures to gutters in accordance with NCC 2022 Part 7.4.5 & 7.4.6

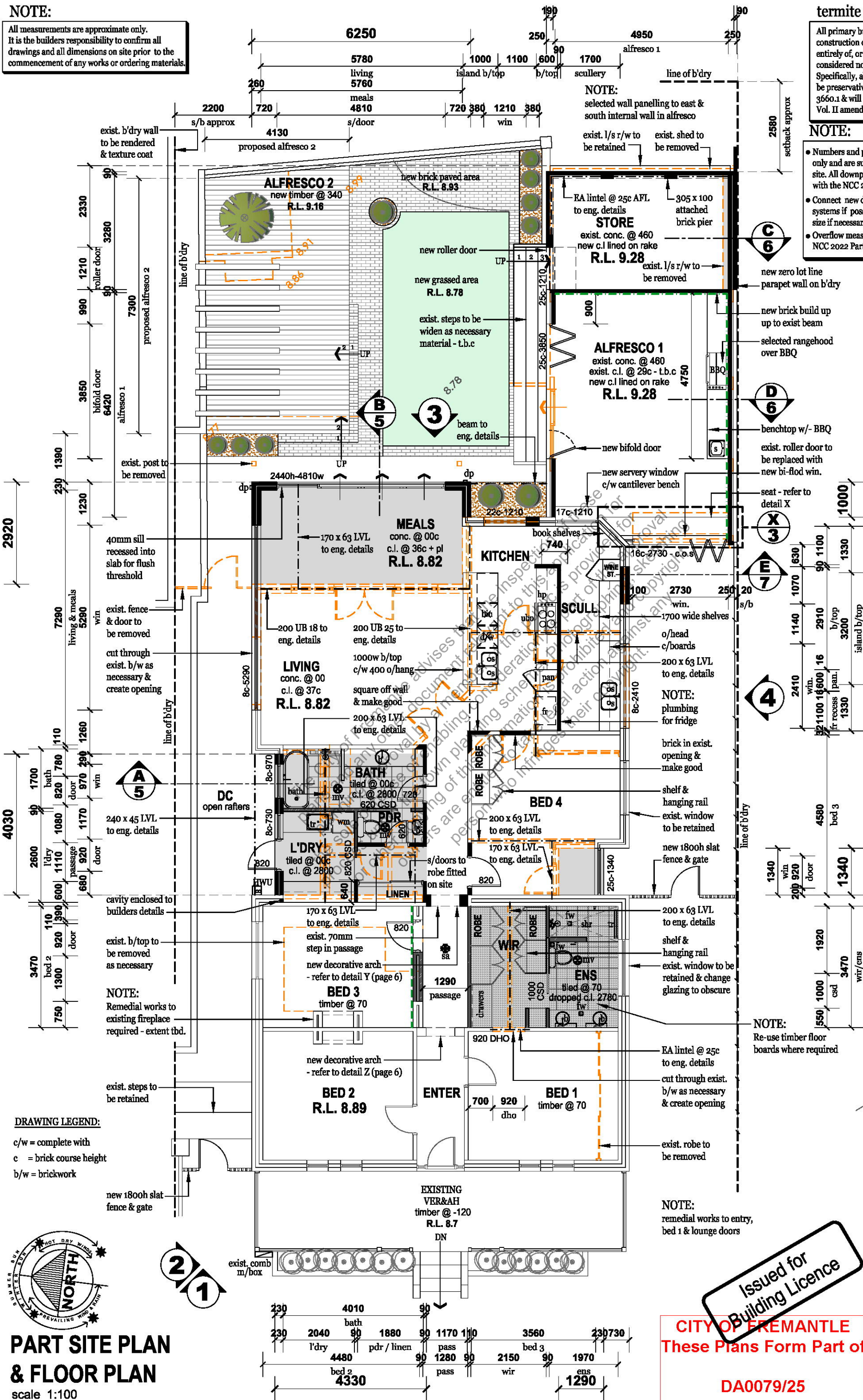
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**CONSTRUCTION NOTES:**

- TERMITE TREATMENT TO NCC VOL. II REQUIREMENTS.
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700-MASONRY CODE.
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- ALLOW FOR ADDITIONAL RETICULATION IN ACCORDANCE WITH AS.
- ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC 2022 Part 9.5 and AS3786
- ALL STORM WATER WILL BE CONTAINED ON SITE.
- TERMITE TREATMENT INCLUDING PHYSICAL BARRIER TO WALLS ON BOUNDARIES TO COMPLY WITH AS3660 (2014).
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- HANDRAILS SHALL BE PROVIDED IN ACCORDANCE WITH THE NCC VOL. II PART 3.9.2.
- PROTECTIVE COATINGS FOR STEELWORK SHALL BE IN ACCORDANCE WITH THE NCC 2022 Part 10.2
- PROVIDE ADEQUATE METHODS OF WATERPROOFING TO ENSURE WET AREAS & INNER PARTS OF THE BUILDING ARE PROTECTED IN ACCORDANCE WITH NCC PART 3.8.1 & AS3740.
- EVERY PLUMBING FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600 AND BYLAWS MADE UNDER THE METROPOLITAN WATER SUPPLY SEWERAGE AND DRAINAGE ACT 1908 AND SHALL HAVE AN ADEQUATE SUPPLY OF WATER.

**INDICATES:**

- bulkhead / dropped ceiling @ 2780 AFL
- extent of new
- new brickwall
- new studwall
- demolished/ removed
- existing brickwork
- feature wall panelling
- dryline over wall
- Existing Ground levels to be modified
- Existing Ground Levels (maintained)
- contour lines
- downpipe
- mechanical ventilation



**DRAWING LEGEND:**

c/w = complete with  
c = brick course height  
b/w = brickwork



**PART SITE PLAN & FLOOR PLAN**  
scale 1:100

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These Plans Form Part of

DA0079/25

19 Mar 2025

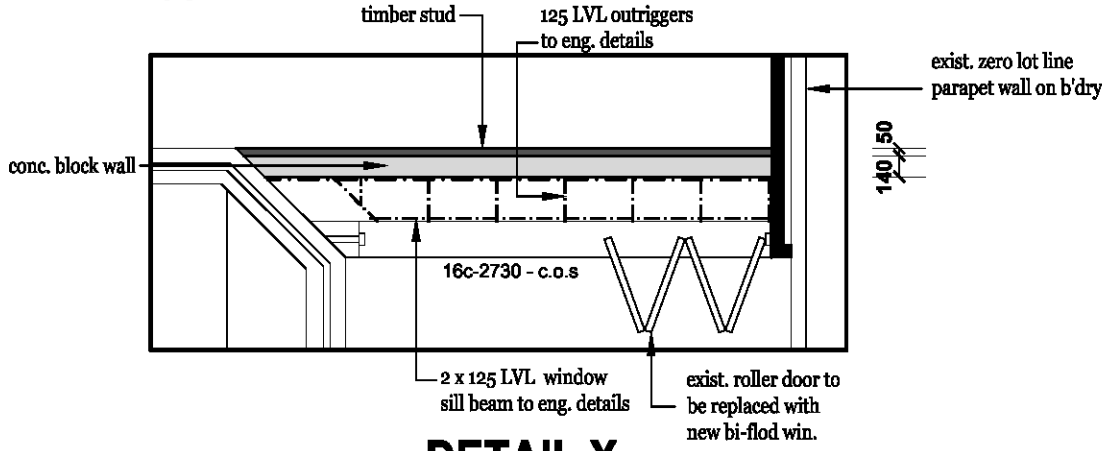
**WD - FLOOR PLAN**  
PROPOSED ADDITION AT 194 HAMPTON ROAD, BEACONSFIELD

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

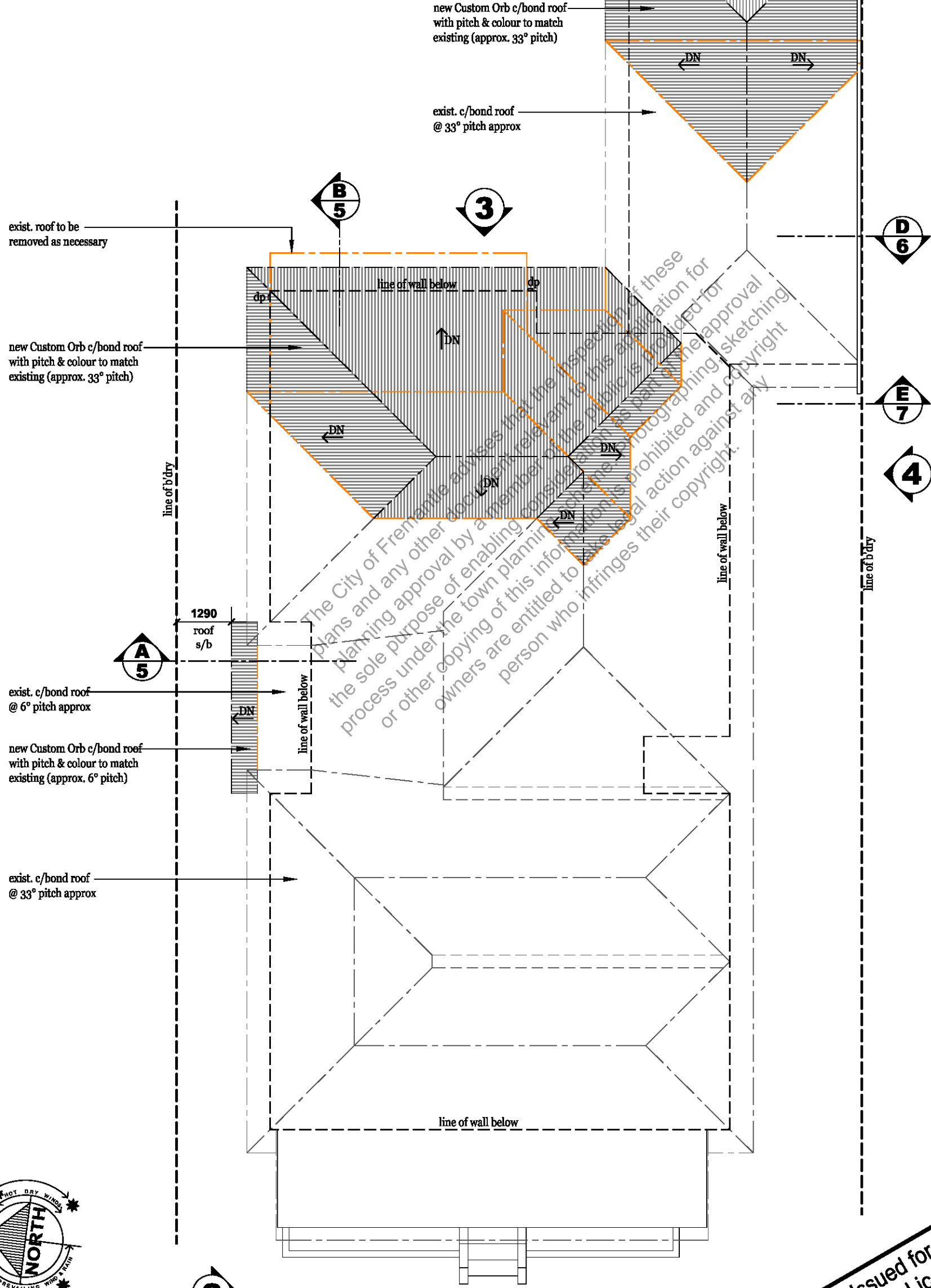
REV: A	OS (RS)	2 of 11
JOB: 1697	17.03.2025	

NOTE:  
confirm condition &  
locations of existing dps.

**CITY OF FREMANTLE**  
These Plans Form Part of  
**DA0079/25**  
**19 Mar 2025**



**DETAIL X**  
scale 1:50



- INDICATES:**
- new Colorbond roof sheeting
  - demolished/ modified roofline
  - new roofline
  - existing roofline
  - roof fall
  - downpipe



**WD - ROOF PLAN**  
**PROPOSED ADDITION AT**  
**194 HAMPTON ROAD,**  
**BEACONSFIELD**

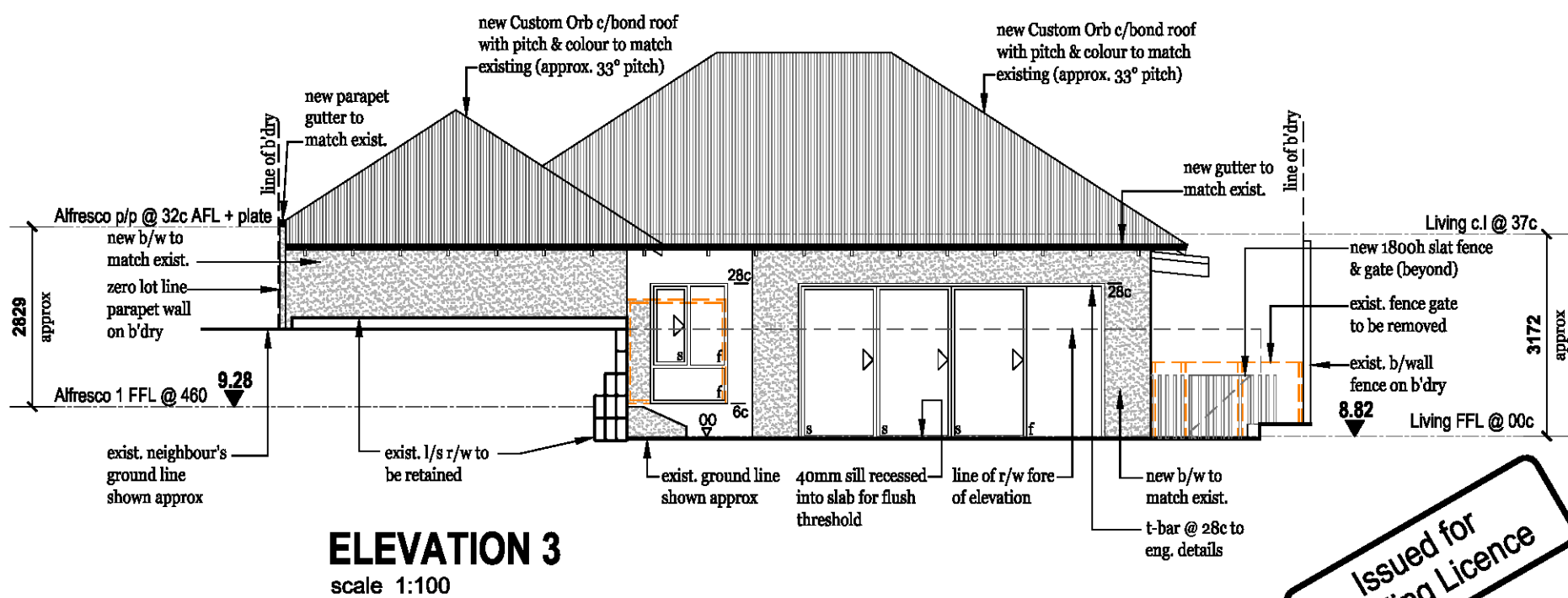
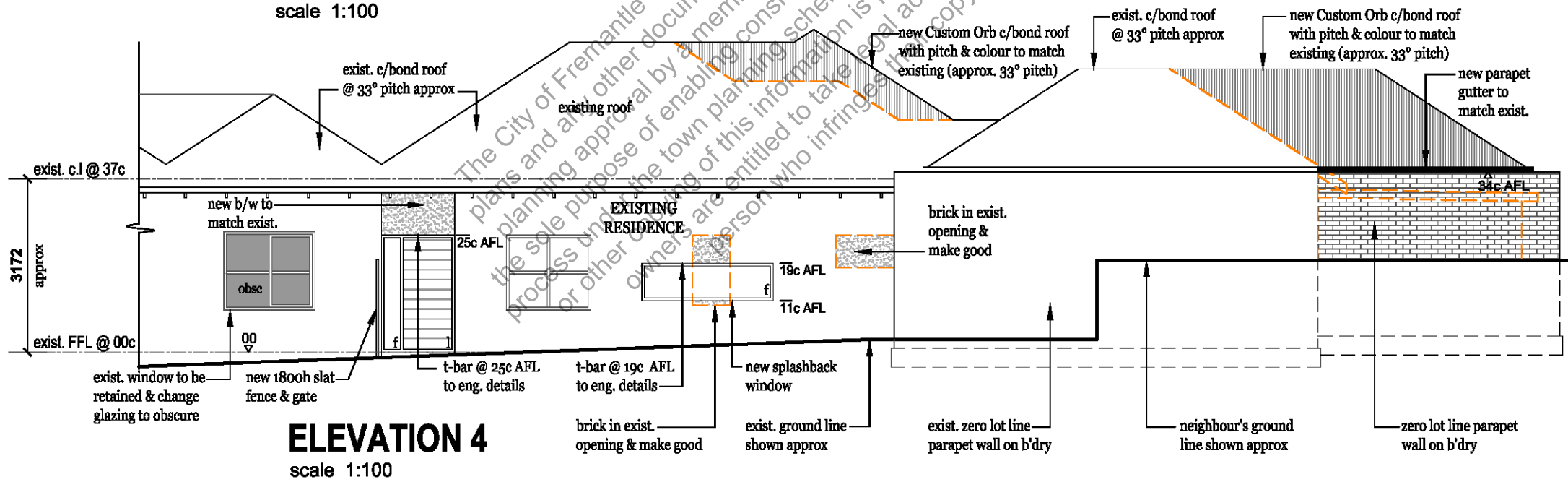
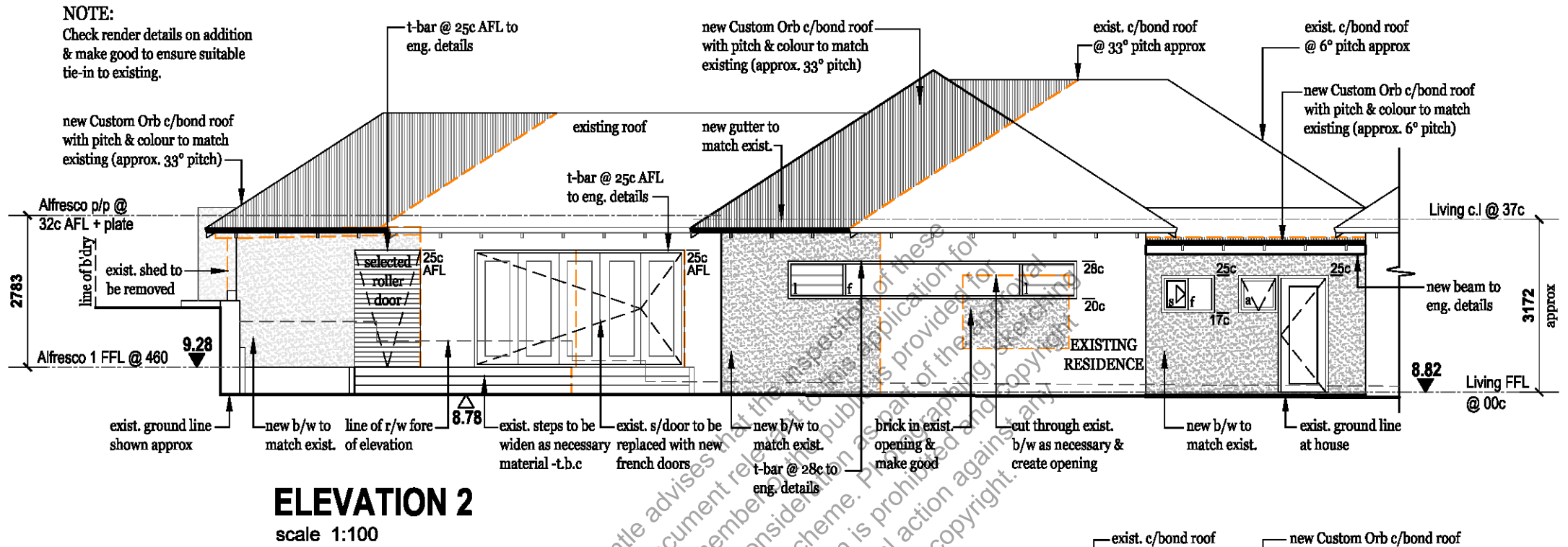
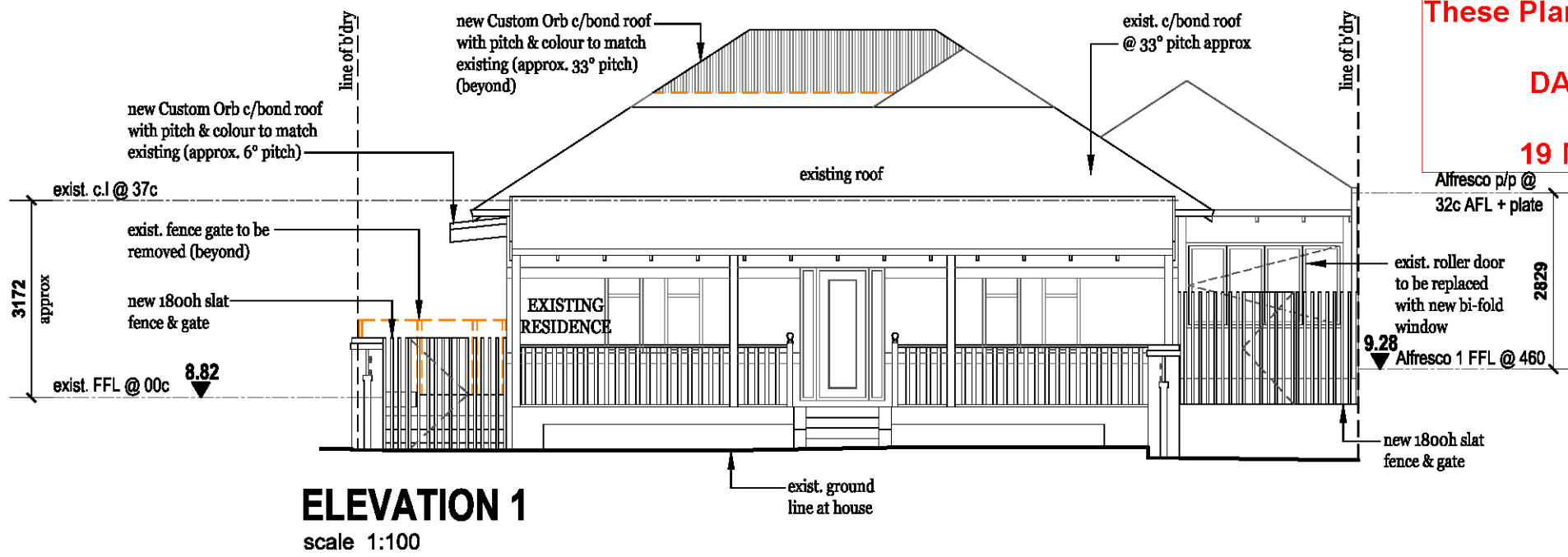
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**ROOF PLAN**  
scale 1:100

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**SIDI**  
 CONSTRUCTION PTY LTD

**WD - ELEVATIONS**  
**PROPOSED ADDITION AT 194 HAMPTON ROAD, BEACONSFIELD**

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REV: A	OS (RS)	4 of 11
JOB: 1697	17.03.2025	