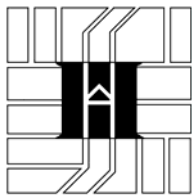


# Gilbert Fraser Reserve Precinct Conservation Management Plan



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July 2010

For  
City of Fremantle

Cover Illustration:

Figure 1 *View of the grandstand and hall, across playing field.*  
*Hocking Planning & Architecture, July 2009*

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## EXECUTIVE SUMMARY

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### Background

In 1895, reserve 3048 within the site of the current *Gilbert Fraser Reserve Precinct* was gazetted as a public recreation reserve. The reserve, known as the North Fremantle Oval, was created to provide facilities for the newly established Town of North Fremantle, a separate local government authority from 1895 to 1961.

Reserve 3048 was modified and added to and achieved its current form as reserve 9317 in 1904. In 1963, the North Fremantle Oval was designated as the 'Gilbert Fraser Reserve' in recognition of the contribution of the Hon. Gilbert Fraser MLC, the President of the North Fremantle Football Club and Member for West Province from 1928 to 1958.

Since its creation the playing fields have been used for many sports and activities including football, cricket, cycling, tennis, hockey, and since 1966 it has been the venue for the Fire and Emergency Rescue Service (FESA) annual competitions.

There are several buildings on the site, the oldest of which is a grandstand constructed in 1910. A stables located adjacent to Johannah Street and converted to a gymnasium was constructed in the early 20<sup>th</sup> century. Later buildings include a hall, toilet blocks, caretaker's house and the timing stand for the FESA competitions. A wall and entry gates define an entry to the reserve on the John Street boundary and an entry gates are present on the corner of John and Johannah Streets. The site is marked by mature plantings including several large Norfolk Island Pines that are local landmarks.

In 1989, three groups using the playing fields amalgamated as the North Fremantle Associated Clubs (NFAC). This group are the current leaseholders of the 'Gilbert Fraser Reserve' and they maintain and manage the playing fields and facilities which includes lot 67 located on the north eastern boundary of the reserve which is owned by the City of Fremantle.

Reserve 9317 is vested in the Department of Planning and Infrastructure and the City of Fremantle is the Local Government Authority. The Swan River Trust also includes the Gilbert Fraser Reserve within their development control area. Part Reserve 36420 which is the foreshore between the river and the reserve boundary is a parks and recreation reserve. This area has subject to infill since the creation of the reserve and particularly since the construction of the Fremantle Traffic Bridge the river in this vicinity has been accumulating silt.

Currently the *Gilbert Fraser Reserve Precinct* is used by a variety of groups including the North Fremantle Football Club, the Fremantle Mosman Park Cricket Club, North Fremantle Sunday League (football), the East Fremantle Tricolore Soccer Club, the North Fremantle Primary School, FESA annual competitions and for passive recreation.

Because of its location on the Swan River foreshore the *Gilbert Fraser Reserve Precinct* is visible from on the Swan River and from the opposite bank of East Fremantle making the place well known beyond the North Fremantle area.

The City of Fremantle commissioned Hocking Planning & Architecture to prepare this conservation management plan to assesses the cultural significance of the whole site and provides a future direction to conservation and development at the place in a way that retains cultural significance. Landscape architects Blackwell and Associates have undertaken a separate landscape heritage analysis and their assessment of the site have informed the policy in relation to conservation and development of the place.

## Study Area

This study will be assessing all aspects of the site including landscape, and built form. The study area is defined as Reserve 9317, the adjacent lot 67 and the land between the reserve boundary and the Swan River which is designated as Part Reserve 36420. Reserve 9317 covers an area of 4.0254 hectares is shown on plan 92696 and is defined by the Swan River, John Street, Johannah Street and the boundary of lot 67 to the north east. Lot 67 to the east of the reserve is 1.899 hectares and is owned by the City of Fremantle but is maintained as part of the reserve. The foreshore between the river and the reserve boundary is a parks and recreation reserve designated as Part Reserve 36420 and the City of Fremantle is shown as the primary interest holder. (Copies of plans 92696, 43034, crown land title 300/DP4304 and enquiry detail for reserve 9317 are included at Appendix H).

*Gilbert Fraser Reserve Precinct* is defined as Reserve 9317 and lot 67. The part reserve on the foreshore is within the study area but does not form part of the area designated as the heritage precinct.

## Statement of Significance

*Gilbert Fraser Reserve Precinct* is an area of public recreation located on the foreshore in North Fremantle that consists of a grassed public open space; mature plantings and low shrubs; a timber grandstand with a corrugated iron roof (1910); former stables of timber and iron (1920s); brick and iron hall (1954; 1957, 1980s); two brick and iron toilet blocks (1960s) and two storey timber timing stand (1966). The place has cultural heritage significance for the following reasons;

*Gilbert Fraser Reserve Precinct* is an area of public recreation and sporting venue located on the foreshore in North Fremantle that consists of a grassed oval / playing field; mature plantings and low shrubs; a timber grandstand with a corrugated iron roof (1910); former stables of timber and iron (1920s); brick and iron hall (1954; 1957, 1980s); two brick and iron toilet blocks (1960s) and a two storey timber timing stand (1966). The place has cultural heritage significance for the following reasons;

the collection of built structures at the *Gilbert Fraser Reserve Precinct* demonstrates the evolution of sport and community activities in North Fremantle from a controlled sporting venue of the late 19th century to a multipurpose venue that caters for a range of organised sports and informal recreation.;

the grandstand is one of the few examples of a simple timber grandstand originally built in 1910 which is in good condition despite the loss of most its original timber detailing, including carved timber balustrades and timber staircases. The simplistic, utilitarian and aesthetically pleasing design is still discernible;

the place is a landmark in the North Fremantle district and to adjacent areas because of its distinctive pine trees which are located on the foreshore boundary;

the *Gilbert Fraser Reserve Precinct* is associated with the establishment of the district and the formation of the independent municipality of North Fremantle;

the place is closely associated with several individuals who made significant contributions to North Fremantle and the wider community; including Hon Gilbert Fraser MLC represented his community as a Member of Parliament and was President of the North Fremantle Football club; Laurie Tetley a dedicated worker for the North Fremantle community and the North Fremantle Football Club; Les Charlton member of the local government authority and administrator for the North Fremantle Tennis Club and Thomas Charles Carlisle long term President of the WA Fire Brigades Board the precursor to FESA, and;

the grandstand was one of the early works of architect Ronald Oldham who made a significant contribution to the North Fremantle community through his role on the North Fremantle councillor and as a supporter of the local sporting groups.

The former caretaker's house, two toilet blocks, the water tank and the children's playground are considered to be of little or no significance.

## **Conservation Policies and Recommendations**

Ten key conservation policies and fifty six policy recommendations have been drafted on the basis of the preceding assessment of the cultural heritage significance, zones and elements of heritage significance and statement of heritage significance of the *Gilbert Fraser Reserve Precinct*. These policies and recommendations have been drafted to be sufficiently flexible to recognise constraints, opportunities and requirements on the site and of its owners, manager, lessees and users, and at the same time enable the heritage significance of the place to be retained and enhanced, and in some cases, partly recovered.

### *Conservation Policies*

The primary aim of the following key conservation policies is the retention of the heritage significance and social significance of *Gilbert Fraser Reserve Precinct* and its setting. Refer to Section 7.2 of this report for detailed explanations and illustrative diagrams for key policies.

#### **Policy 1**

**All works which may have an impact on the cultural heritage significance of the place and all policies for the maintenance and conservation of the significant buildings and landscape within the Gilbert Fraser Reserve Precinct shall be guided by the principles of The Australia ICOMOS Charter for Places of Cultural Significance 1999 (Burra Charter).**

#### **Policy 2**

**This Conservation Management Plan, including the assessed significances and Statement of Significance of Gilbert Fraser Reserve Precinct, shall be adopted as the basis for decisions about the management, maintenance, conservation, development and future use of the site, buildings, landscaping and its setting along the foreshore.**

#### **Policy 3**

**The site, including the whole of Reserve 9317 and Lot 67, existing built structures and landscape, shall be identified as 'Gilbert Fraser Reserve Precinct'.**

#### **Policy 4**

**The boundaries of Reserve 9317 shall be rationalised to include the adjacent Lot 67.**

**Policy 5**

The Gilbert Fraser Reserve Precinct shall be nominated and assessed for inclusion on the Heritage Council of Western Australia's State Register of Heritage Places.

**Policy 6**

The zones and elements identified as being of cultural heritage significance shall be retained and conserved in accordance with the relevant policies and definitions for graded zones and elements of significance.

**Policy 7**

Future development of the place shall have due cognisance of the place's identified heritage values and ensure that the significance of the place is not diminished. Any future uses should be compatible with the current uses.

**Policy 8**

A clear methodology of work to undertake conservation, maintenance and / or repairs shall be established to ensure retention of significant fabric and landscaping.

**Policy 9**

Appropriate professional direction and supervision shall be maintained for all work relating to identified significant fabric and landscaping.

**Policy 10**

Interpretation of Gilbert Fraser Reserve Precinct shall be reviewed to integrate the natural context of the site with the development of its social, history and ongoing use as a sports facility.

*Policy Recommendations*

The policy recommendations in Section 7.3 of this report have been drafted as a framework of guidelines which would potentially contribute towards development of future policies or be read as extensions to the key conservation policies for the *Gilbert Fraser Reserve Precinct*. The policy recommendations include:

- recommendations arising from cultural significance of the place;
- recommendations arising from constraints and opportunities;
- recommendations relating to physical setting of the place;
- recommendations relating to physical condition of the place;
- recommendations relating to maintenance and repairs;
- recommendations relating to external requirements;
- recommendations relating to requirements and resources of the owner, manager, lessees and users;
- recommendations relating to future development and compatible use.

Items identified in the Landscape Heritage Analysis (LHA) have also been included in this section and annotated with the corresponding recommendation number used in the LHA. Refer to page 14 and 15 of the Landscape Heritage Analysis by Blackwell Associates (Appendix J)

## **Implementation**

It is highly recommended for a collaborative approach to undertake review and adoption of policies, recommendations, management strategies, conservation works, maintenance and repairs identified in this Conservation Management Plan in conjunction with consultation with the various parties involved with the place.

The owners and manager of the place are primarily responsible for the management and implementation of the works identified in this Conservation Management Plan. As lessee and major user group with considerable involvement and interest on the Gilbert Fraser Reserve site, the North Fremantle Associated Clubs should be consulted in regards to maintenance, ongoing and future works on site which may affect their activities and usage of existing facilities. Ongoing dialogue between the owner and manager, City of Fremantle, and the lessee, North Fremantle Associated Clubs, is highly encouraged to achieve greater coherence in regards to strategic planning and responsibilities between the two parties on key issues and objectives.

The recommended actions and work based on preceding evidences and assessments are presented in three schedules to address:

- Implementation and recommended actions for key conservation policies;
- Implementation and recommended actions for maintenance and repair program;
- Implementation and recommended conservation works and cost estimates.

The recommended actions and work have been prioritised within a specific timeframe to provide a framework for their implementation and to allow for forward planning and budgeting.

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## 1.0 INTRODUCTION

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### 1.1 Background

In 1895, reserve 3048 within the site of the *Gilbert Fraser Reserve Precinct* was gazetted as a public recreation reserve. The reserve, known as the North Fremantle Oval, was created to provide facilities for the newly established Town of North Fremantle, a separate local government authority from 1895 to 1961. North Fremantle did not develop into a populous residential suburb as was anticipated in the late 19th century but became characterised as an industrial area with a workforce that commuted to the suburb although a small population has always been present in the district.

Reserve 3048 was modified and added to and achieved its current form as reserve 9317 in 1904. In 1963, the North Fremantle Oval was designated as the Gilbert Fraser Reserve in recognition of the contribution of the Hon. Gilbert Fraser MLC, the President of the North Fremantle Football Club and Member for West Province from 1928 to 1958. For convenience the reserve 9317 will be referred to in this report as the Gilbert Fraser Reserve even though it was officially named in 1963. The entire study area will be referred to as the *Gilbert Fraser Reserve Precinct*.

Since its creation *Gilbert Fraser Reserve Precinct* has been used for many sports including football, cricket, cycling, tennis, hockey, and since 1966 it has been the venue for the Fire and Emergency Rescue Service (FESA) annual competitions.

There are several buildings within the site, the oldest of which is a grandstand constructed in 1910. A stables located adjacent to Johannah Street and converted to a gymnasium was constructed in c.1920s. Later buildings include hall, toilet blocks, caretaker's house and a two storey timing stand for the FESA competitions. A wall and entry gates define an entry to the reserve on the John Street boundary and an entry gates are present on the corner of John and Johannah Streets. The site is marked by mature plantings including several large Norfolk Island Pines that are local landmarks.

In 1989, three groups using the reserve amalgamated as the North Fremantle Associated Clubs (NFAC). This group (excluding the North Fremantle Football Club (Sunday League) which folded some years ago) are the current leaseholders of the Gilbert Fraser Reserve and they maintain and manage the reserve and the adjacent lot 67 owned by the City of Fremantle. The reserve is vested in the Department of Planning and Infrastructure and the City of Fremantle is the Local Government Authority. The Swan River Trust also includes the Gilbert Fraser Reserve within their development control area.

Currently the reserve is used by a variety of groups including the North Fremantle Football Club, the Fremantle Mosman Park Cricket Club, North Fremantle Sunday League, the East Fremantle Tricolore Soccer Club, the North Fremantle Primary School, the Fire and Rescue Service annual competitions and for passive recreation.

Because of its location on the Swan River foreshore the Gilbert Fraser Reserve is visible from on the Swan River and from the opposite bank of East Fremantle making the place well known beyond the North Fremantle area.

The City of Fremantle commissioned Hocking Planning & Architecture to prepare this conservation management plan to assesses the cultural significance of the *Gilbert Fraser Reserve Precinct* and provide a future direction to conservation and development at the place in a way that retains its cultural heritage significance. Landscape architects Blackwell and Associates have undertaken a separate landscape heritage analysis and their assessment of the site has informed the policy in this document in relation to conservation and development of the place.

## 1.2 Study Area

The *Gilbert Fraser Reserve Precinct* is located in North Fremantle within the City of Fremantle. It is bordered by the Swan River, John Street, Johannah Street and residential properties to the north east.

This study will be assessing all aspects of the site including landscape, and built form. The study area is Reserve 9317, the adjacent lot 67 and the land between the reserve boundary and the Swan River. Reserve 9317, of 4.0254 hectares is shown on plan 92696 and is defined by the Swan River, John Street, Johannah Street and the boundary of lot 67 to the north east. Lot 67 to the east of the reserve is 1.899 hectares and is owned by the City of Fremantle and is managed as part of the reserve. The foreshore between the river and the reserve boundary is a parks and recreation reserve designated as Part Reserve 36420 and the City of Fremantle is shown as the primary interest holder. (Copies of plans 92696, 43034, crown land title 300/DP4304 and enquiry detail for reserve 9317 are included at Appendix H).

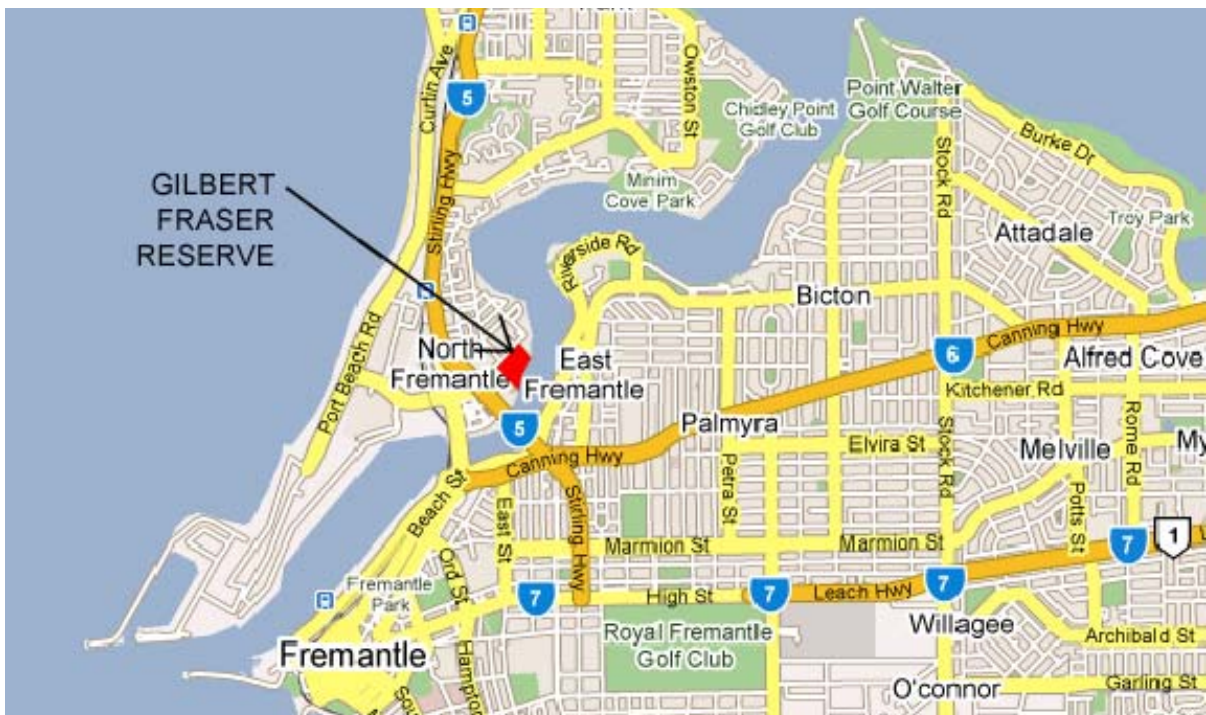


Figure 2 Regional of Gilbert Fraser Reserve, North Fremantle  
Courtesy Google Maps, 2009.



Figure 3 Location of Gilbert Fraser Reserve, North Fremantle  
 Courtesy Google Earth, 2009.

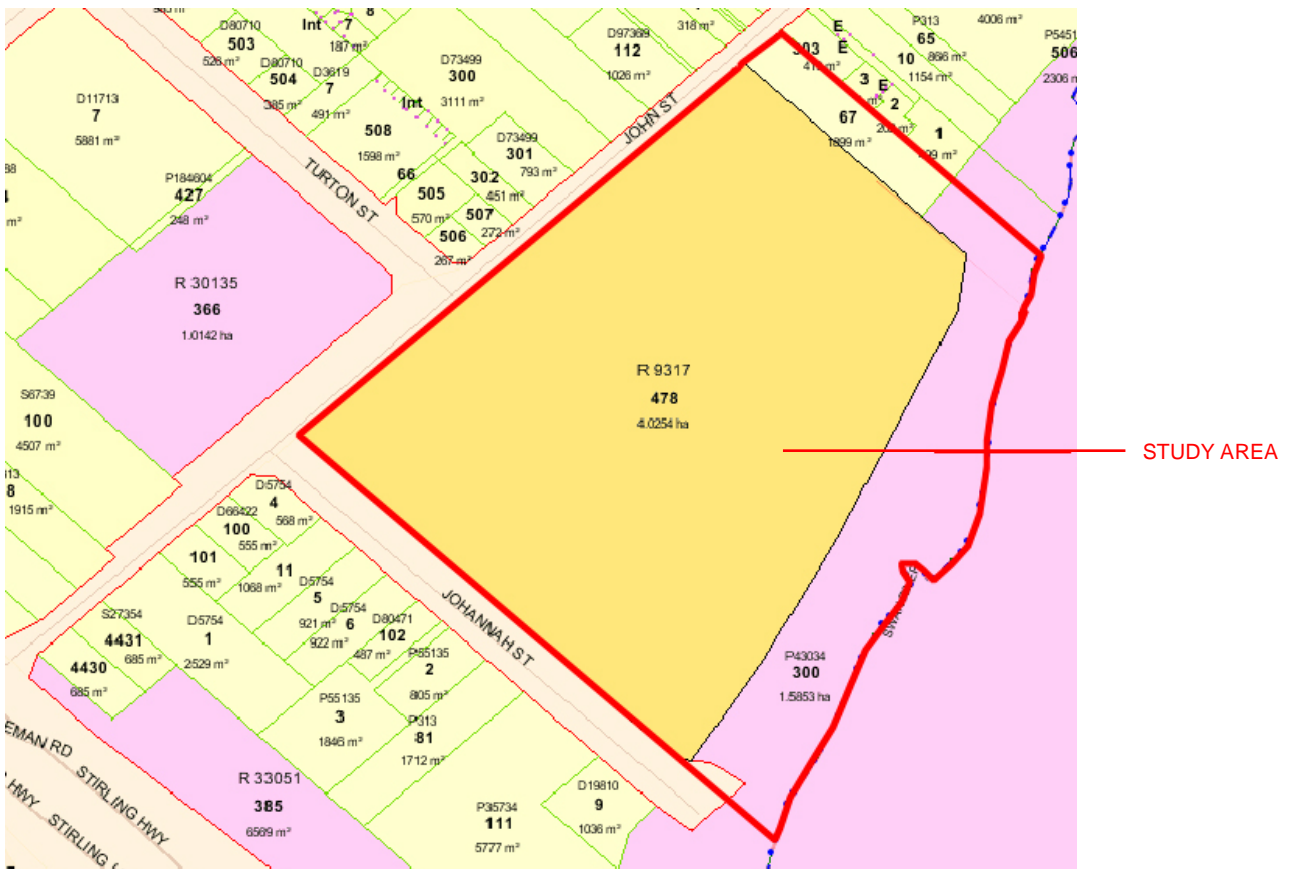
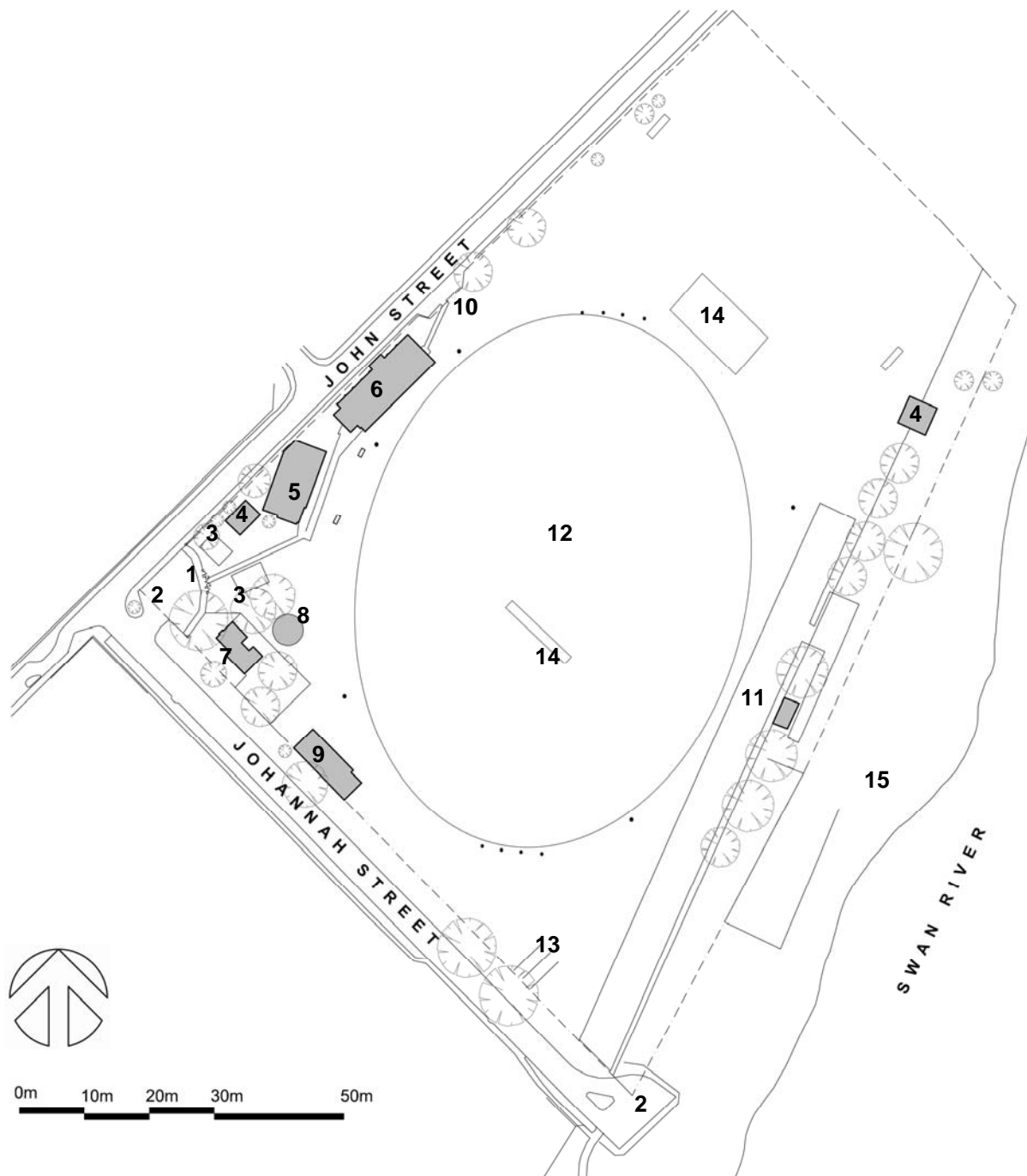


Figure 4 Plan showing Cadastral Boundaries of Reserve 9317  
 Courtesy of Landgate.  
 Note lot 67 and Part Reserve 43034 which form part of this study.



**LEGEND**

- |                                       |   |
|---------------------------------------|---|
| 1. Laurie Tetley Gates                | 8. Water tank                             |
| 2. Car park                           | 9. Les Charlton Memorial Gates            |
| 3. Sand pit with playground equipment | 10. Gymnasium (former stables)            |
| 4. Toilet block                       | 11. W.A.F.B. timing stand & running track |
| 5. Grandstand                         | 12. Oval                                  |
| 6. Hall                               | 13. Cricket practice pitches              |
| 7. Former caretaker's house           | 14. turf wickets                          |
|                                       | 15. Foreshore reserve                     |

*Figure 5 Site plan of the Gilbert Fraser Reserve Precinct, Base drawing provided by Facilities and Assets department, City of Fremantle, May 2009. Updates to base drawing by Hocking Planning & Architecture, October 2009*

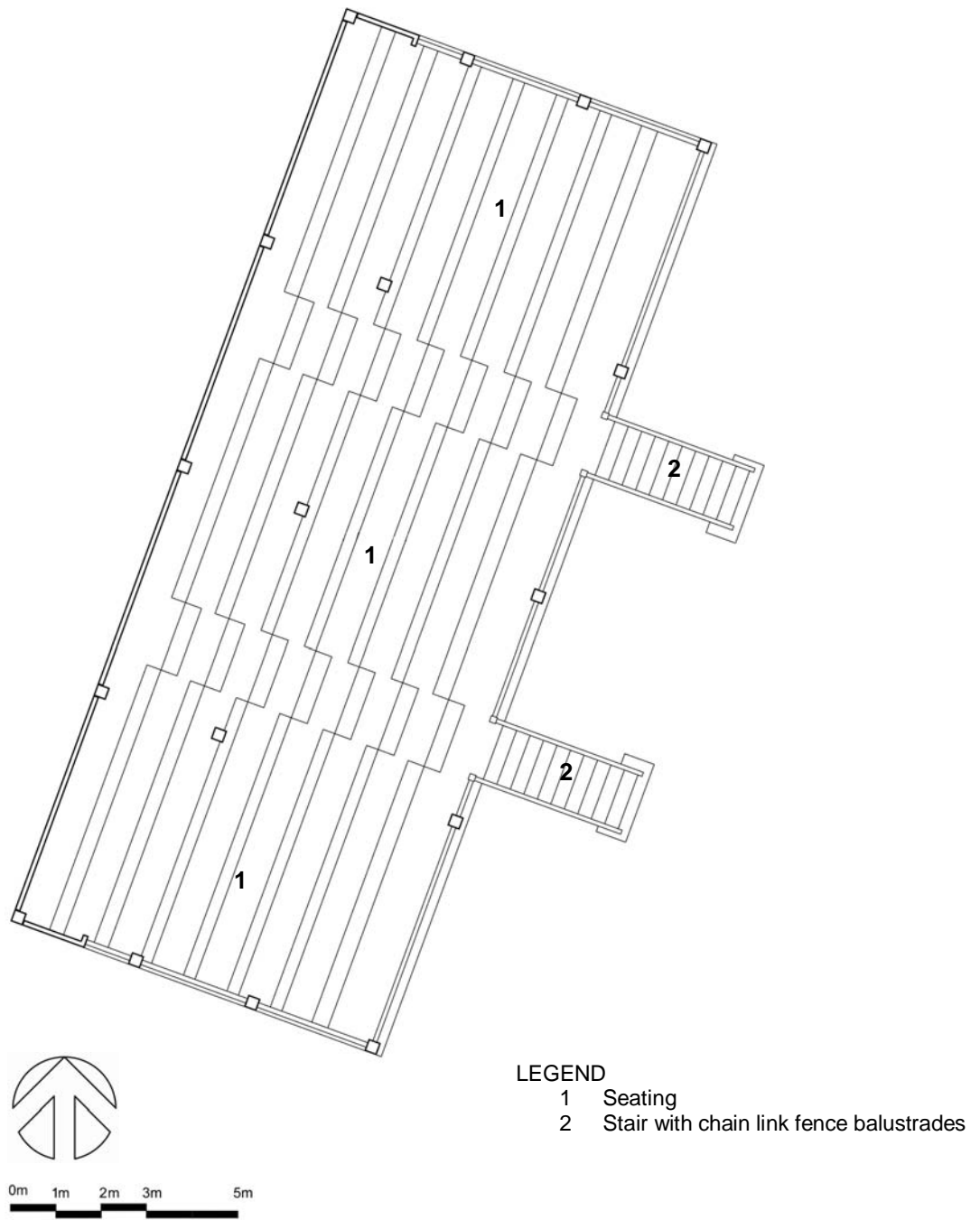


Figure 6 Grandstand – first floor plan / pavilion  
 Base drawing provided by Facilities and Assets department, City of Fremantle, May 2009. Updates to base drawing by Hocking Planning & Architecture, October 2009

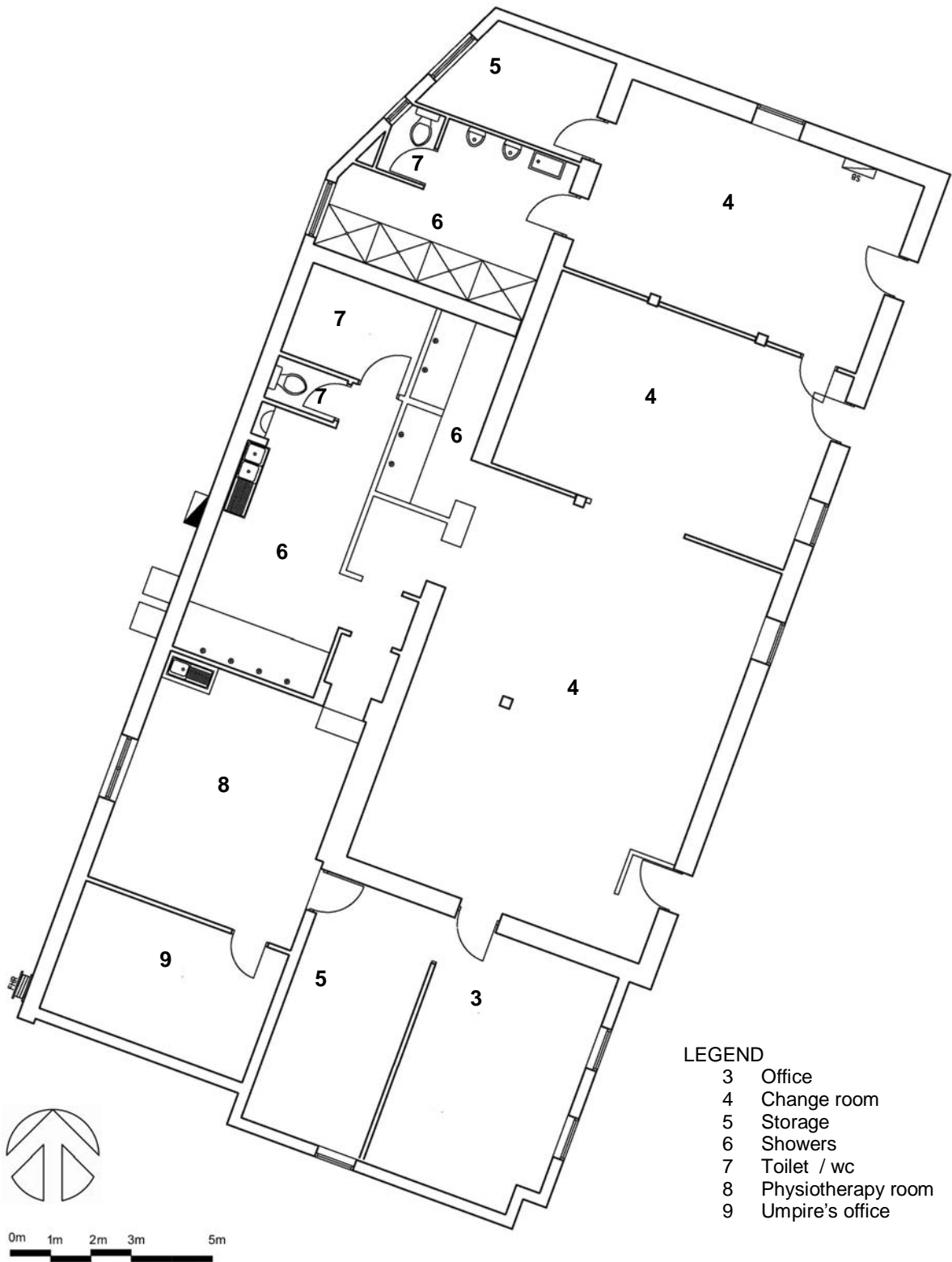


Figure 7 Grandstand – ground floor plan / change rooms  
 Base drawing provided by Facilities and Assets department, City of Fremantle, May 2009. Updates to base drawing by Hocking Planning & Architecture, October 2009

### 1.3 Ownership

The responsible agency for the Gilbert Fraser Reserve 9317 is the Department for Planning and Infrastructure. The City of Fremantle is designated as the manager of the reserve and the reserve is leased to the North Fremantle Associated Clubs. The adjoining lot 67 is owned by the City of Fremantle. Part reserve 36420 between the Swan River and the southern boundary of Reserve 9317 is managed by the City of Fremantle.

The whole of the Reserve 9317, Lot 67 and Reserve 36420 are included within the Swan River Trust Development Control Area and Riverpark.

### 1.4 Acknowledgements

The study team wishes to acknowledge the involvement of the following individuals in the preparation of this study:

- Agnieszka Keira, City of Fremantle
- Alexandra McKenzie, City of Fremantle
- Pam Hartree, City of Fremantle, local history librarian
- Baden Pratt, North Fremantle Football Club
- Stan and Gloria Whipp, North Fremantle Football Club
- The members of the North Fremantle Football Club
- Josie Watson, Swan River Trust
- Carol Baker, Interchange

The study team wishes to extend acknowledgment to the following organisation and local government department for their contributions towards the review of this Conservation Management Plan during the community consultation period:

- Members of the North Fremantle Associated Clubs;
- City of Fremantle Community Development Department;
- City of Fremantle Parks and Landscape Unit;
- City of Fremantle internal and external heritage consultants.

### 1.5 Study Team

The study team comprised:

#### Hocking Planning & Architecture

- Ian Hocking, B.Arch. (Hons. His.) (Melb.) Dip.T.P. (UCL.) FRAIA Principal Director
- Yen Nee Goh, B. Arch. (Hons) (Curtin)
- Prue Griffin, BA. Post Grad Dip. Pub Hist. M App Cult Herit Studs.
- Shari Zolfaghari, BSc. Mat'l Sc & Eng (Ceramics)

#### Blackwell & Associates Pty Ltd

- Cara Clifton, BLA (Hons.)

### 1.6 Methodology

The report follows the approach recommended by Australia ICOMOS (International Council on Monuments and Sites) and set out in the study brief attached as Appendices A & B. It applies the principles set out in *The Australia ICOMOS Charter for the Conservation of*

*Places of Cultural Significance (The Burra Charter), Guidelines to the Burra Charter: Cultural Significance, Guidelines to the Burra Charter: Conservation Policy, and Guidelines to the Burra Charter: Procedures for Undertaking Studies and Reports.*<sup>1</sup>

The report has also been prepared in accordance with the principles of *The Conservation Plan*,<sup>2</sup> and the *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places*.<sup>3</sup>

## 1.7 Site Inspections

Site inspections were undertaken by the team in June, August, September and October 2009 and July 2010.

## 1.8 Previous Studies and Research

The place has been the subject of some study and research in preparation for its inclusion in the City of Fremantle Municipal Inventory of Heritage Places. There is some minimal information included on the Heritage Council of Western Australia (HCWA) database of heritage places and a thorough history of the North Fremantle football club contains a significant amount of information relating to the site.

- City of Fremantle, Municipal Inventory of Heritage Places, Data base entry.
- Pratt, Baden *The Maggies*, North Fremantle Amateur Football Club, 2007

## 1.9 Present Heritage Status

Register of Heritage Places:		-----
National Trust Classification:		-----
Town Planning Scheme:		
Municipal Inventory:	Adopted	14/10/2000
Register of the National Estate:	Indicative place	

## 1.10 Terminology

Terminology from the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance* (the Burra Charter) (Appendix A) and the Heritage Council of Western Australia's *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places* is used in this report. Some specific terminology from these works together with other terms and abbreviations used are set out below:

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<sup>1</sup> Peter Marquis-Kyle & Meredith Walker, *The Illustrated Burra Charter: Making Good Decisions About the Care of Important Places*, Australia ICOMOS, Sydney, 1994. The Burra Charter and guidelines are available from [www.icomos.org/australia](http://www.icomos.org/australia).

<sup>2</sup> James Semple Kerr, *The Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*. National Trust NSW, Sydney, 1990 – 5<sup>th</sup> Edition 2000. <http://www.heritage.wa.gov.au/>.

<sup>3</sup> Heritage Council of WA, *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places* available online <http://www.heritage.wa.gov.au/>

**Adaptation** means modifying a place to suit proposed compatible uses.

**Authenticity** refers to the extent to which the fabric is in its original state.

**Compatible Use** means a use which involves no change to the culturally significant fabric, changes which are substantially reversible, or changes which require a minimal impact.

**Condition** refers to the current state of the place in relation to each of the values for which the place has been assessed. Condition reflects the cumulative effects of management and environmental events.

**Conservation** means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may according to circumstance include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

**Cultural Significance** means aesthetic, historic, scientific or social value for past, present or future generations.

**Fabric** means all the physical material of the place.

**HCWA** means Heritage Council of Western Australia

**Integrity** is a measure of the long-term viability or sustainability of the values identified, or the ability of the place to restore itself or be restored, and the time frame for any restorative process.

**Maintenance** means the continuous protective care of the fabric, contents and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction and it should be treated accordingly.

**Place** means site, area, building or other work, group of buildings or other works together with associated contents and surroundings.

**Preservation** means maintaining the fabric of a place in its existing state and retarding deterioration.

**Reconstruction** means returning a place as nearly as possible to a known earlier state and is distinguished by the introduction of materials (new or old) into the fabric. This is not to be confused with either re-creation or conjectural reconstruction, which are outside the scope of this Charter.

**Restoration** means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

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## 2.0 DOCUMENTARY EVIDENCE

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### 2.1 Chronology of Major Events

1829	Settlement of the Swan River Colony
1851	Captain Bruce granted 150 acres in North Fremantle. Allotments for Pensioner Guards surveyed and the area becomes known as 'Brucetown'.
1860s	Convict Depot in North Fremantle
1866	Completion of the North Fremantle traffic bridge by convict labour.
1881	Opening of the Perth to Fremantle railway line.
1895	Establishment of the municipality of North Fremantle
1895	4/10/1895 Gazettal of Reserve 3048 of 10 acres
1895	Establishment of the North Fremantle Football club
1897	Hotel Gresham licensed December 1897
1898	Fencing and improvements on the North Fremantle Oval including the preparation of a bicycle track. Construction of a second adjacent higher traffic bridge
1899	5/5/1899 Gazettal of Reserve 6664 for Recreation
1901	The North Fremantle Football Club was promoted to the WA National Football League.  Construction of the original grandstand to a design by Joseph Allen
1904	22/7/1904 Gazettal of the Reserve 9317 on North Fremantle sub lot 223 from the amalgamation of Reserve 3048 and 6664
1905	Provision of power and electric light to North Fremantle
1910	Destruction of the Grandstand by fire and the construction of a new grandstand to a design by Ronald G Oldham.
1915	Players from the North Fremantle Football Club were enlisted for World War I and the club, which could no longer field a team, had to cease playing
1920s	Level of the oval increased through landfill.
1921	North Fremantle Amateur Football Club was formed to replace the former North Fremantle Football Club
1922	Opening of the North Fremantle Football Club

1933	Construction of Lavatory Block at rear of Grandstand
1933	Establishment of a hockey club at North Fremantle Oval
1939-45	Removal of the cement and pipe fence surrounding the playing arena. Gun emplacement on the oval and no sports at the North Fremantle Oval
1948	Construction of the Old Fremantle Traffic Bridge.
1951	Formation of the North Fremantle Hockey Club
1954	Construction of Hockey Club rooms, first part of the hall
1957	Construction of the hall adjoining the hockey clubrooms
1958	Death of Gilbert Fraser.
1961	Re-amalgamation of the Town of North Fremantle with the City of Fremantle Construction of the caretakers cottage
1963	Renaming of the North Fremantle Oval to the Gilbert Fraser Reserve recommended by the City of Fremantle and approved by Geographic Names Committee.
1974	Construction of the Stirling Bridge between North Fremantle and East Fremantle.
1983	4/2/1983 Gazettal of the change of name from North Fremantle Oval to the Gilbert Fraser Reserve.
1984	Gymnasium equipment purchased with funding from Dept of Sport and Recreation installed in the former stable.
1986	Naming of the Laurie Tetley Gates
1988	Reserve 9317 vested in the City of Fremantle. Major reconstruction of the club rooms
1989	Amalgamation of the North Fremantle Amateur Football Club, North Fremantle Sunday League and the Fremantle Mercantile Cricket Club to form the North Fremantle Associated Clubs.
c. late 1980s / early 1990s	The stables were restored by the North Fremantle Amateur Football Club soon after a Saturday evening fire destroyed the building
c.1992	Construction of the entry statement on John Street housing the Les Charlton Gates.
1996	Vesting of Reserve 9317 in City of Fremantle revoked 15/11/1996
1996/97	Turton Street well used to irrigate the reserve runs dry. A new bore sunk on the Gilbert Fraser Reserve produces brackish water.

1997/98	New bore sunk in Turton Street. To prevent further salinity a concrete storage tank constructed on the reserve with a shallow bore.
1998	The North Fremantle Amateur Football Club (The Magpies) play away from their home ground for the first time since 1921 because of the poor condition of the ground.
2000s	Installation of flood lighting at Gilbert Fraser Reserve for night matches.
2009	Preparation of Conservation Management Plan by Hocking Planning & Architecture

## 2.2 Development of North Fremantle

The settlement and development of North Fremantle was slow until the completion of the Fremantle Traffic Bridge in 1866 linking it with the larger settlement at Fremantle. Completion of the bridge was one of the significant public works undertaken by convict labour following the arrival of convicts in 1860. A convict depot was established in North Fremantle overseen by the staff officer of the enrolled Pensioner Guards, Captain John Bruce. Bruce was granted a significant portion of land in the area and the name 'Brucetown' was consequently applied to the settlement in North Fremantle.<sup>4</sup>

North Fremantle was included within the authority of the town of Fremantle until 1895 when it was designated as a separate municipality. The decision to establish a separate municipality was a result of the growth in population and the expanding economy in the Swan River Colony in the late 1890s. Gold discoveries in the east had attracted many migrants who created a demand for housing and jobs in the areas close to the main settlements of Perth, Fremantle and Guildford. North Fremantle located on the railway line between Perth and Fremantle, completed in 1881, was well placed for new settlement.<sup>5</sup>

The municipality of North Fremantle was gazetted in 1895 and the settlement grew rapidly in the period around the turn of the century. North Fremantle was primarily a residential settlement in the early part of the 20<sup>th</sup> century and reached a peak of population in 1916 of 4250.<sup>6</sup> However it was in the years preceding World War One that the residential nature of the suburb was overshadowed by industry. The suburb always had some industry, including the Pearse Brothers shoe factory in 1871 and the small boat building enterprises on the foreshore but it was the establishment of the Government Abattoirs in 1907 and the subsequent allied trades that substantially changed the nature of the suburb.

North Fremantle had several qualities that made it a desirable industrial site; it was on the railway line, close to the port, extensive river access and frontage, a local workforce or close access to a workforce in Fremantle and, significantly, North Fremantle was sufficiently isolated from Fremantle's major commercial and residential areas.<sup>7</sup>

A description of the suburb in 1912 is full of praise of the facilities offered at North Fremantle many of which would have been beneficial for residents, commuters and businesses.<sup>8</sup>

<sup>4</sup> Bosworth, Michal 'North Fremantle: Introduction and Bibliography written for the North Fremantle Community Parish Map Project', 1993, pp 1-5.

<sup>5</sup> Ibid.,

<sup>6</sup> Robinson, James, 'North Fremantle: A Changing Environment' *Environmental Science Discussion Paper*, Vol 4, 1987, p. 32.

<sup>7</sup> Robinson, op. cit., p. 35.

<sup>8</sup> Battye, J. S. (ed.) *The Cyclopedia of Western Australia An historical and commercial Review A Epitome of Progress* Hesperian Press, facsimile edition, 1985, p. 555.

An up-to-date sanitary and rubbish service on the sealed-pan system has been municipalized, the pans being cleansed by superheated steam and fumigated. North Fremantle enjoys the enviable reputation of being the best-lighted municipality in the State, and possesses a thoroughly up-to-date tramway service.<sup>9</sup>

Throughout the 20<sup>th</sup> century new industries have been established in North Fremantle. Prominent among them were the bulk oil installations, car manufacturing, woolstores and the Great Southern Flour Mill. The accumulation of industry saw a decline of a residential population and the ascendancy of the car as the means of travel enabled people to live at some distance from their workplace.

In 1961, the Town of North Fremantle was again included within the jurisdiction of the City of Fremantle.

The decline in population halted in the mid 1970s and since that time there has been a slight increase that has escalated as new residential developments have moved into sites that have been vacated by industry.<sup>10</sup> North Fremantle is gradually transforming into a prestigious residential suburb with many expensive properties alongside the few remaining original cottages and industrial sites.

### 2.3 Creation of North Fremantle Oval

In June 1894, at a meeting of the Municipal Association, the Mayor of Fremantle requested that the government allocate money in the estimates for the following year for the purchase of a recreation ground in North Fremantle. The Mayor 'pointed out that there was a strong hope of North Fremantle being declared a separate municipality before long, and it was, therefore, desirable that the locality should have its own recreation ground.'<sup>11</sup>

One of the members of the Fremantle Council at this time was Daniel Congdon who was a resident of John Street, North Fremantle. Congdon was a merchant with a background as a teacher who then established a business as a chemist in Fremantle. Congdon was a keen sportsman and patron of several sporting groups. He held offices in the City of Fremantle council, including Mayor, before nominating for the North Fremantle Council.<sup>12</sup>

Prior to his election as Mayor of North Fremantle, Congdon was involved in the negotiations for the purchase of Swan Location 76, later the Gilbert Fraser Reserve, by the Western Australian Government. The 10 acre property was purchased from Sir Oriel Viveash Tanner for the sum of £1500.<sup>13</sup>

Reserve 3048 of 10 acres was gazetted in October 1895.<sup>14</sup> In the following year the reserve was vested in the Mayor, Councillors and Burgesses of North Fremantle.<sup>15</sup> The reserve appears to have been generally known as the North Fremantle Oval.

In 1897 and 1898, the Town Clerk of North Fremantle Mr E. J. Powell, requested money from the government to complete improvements at the reserve specifically the completion of

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<sup>9</sup> Battye, op. cit., p. 555.

<sup>10</sup> Robinson, op. cit., p. 35-37.

<sup>11</sup> *The West Australian*, 6 June 1894, p. 6.

<sup>12</sup> Erikson, Rica [comp] *The Bicentennial dictionary of Western Australians pre 1829-1888*, UWA Press, 1979, Vol 1, p. 615. Black, David and Bolton, Geoffrey Biographical Register of Members of the Parliament of Western Australia, Western Australian Parliamentary History Project, Perth, 1990, p. 50.

<sup>13</sup> Pratt, Baden *The Mighty Maggies of Gilbert Fraser Reserve 1895-2006* North Fremantle Football Club, 2006, p 11-14. Pratt provides a thorough description of the role of Daniel Congdon and the purchase of the land including the involvement of Premier John Forrest.

<sup>14</sup> *Government Gazette*, 4/10/1895, p. 1568.

<sup>15</sup> *Government Gazette*, 9/1/1896, as recorded in file 1895/443 Cons 541, Reserve 6664, SROWA, folio 15. Page number of gazettal not checked.

the bicycle track and fencing. In a letter dated 6 July 1897, he wrote that the premier had promised £1100 of which only £900 had been forwarded.<sup>16</sup>

In 1898, Mr Powell again wrote to the government this time requesting that an area of 1.5 acres of reclaimed land be added to the reserve. The North Fremantle council wished to resolve this question as the council were completing fencing of the reserve.<sup>17</sup> (This information suggests that the earlier request had been granted.) The government agreed to the inclusion of the reclaimed land and reserve 6664 was created for the portion of land on the south east of the lot.<sup>18</sup> A sketch plan of the area of the reclaimed land shows that a road and a sea wall were present on the waterfront.<sup>19</sup>

Preparation of the reserve for sport would probably have included some levelling of the oval with fill and an early survey diagram of the site shows that the edge of the oval was marked by a change of level in the form of a bank. The manipulation of the ground levels at this time suggests that the reclaimed land forming Reserve 6664 was partly a function of the efforts to level the ground for the reserve.

A survey diagram of the reserve in approximately 1901 (Figure 8) illustrates a portion of the reserve. This diagram shows the retaining wall on the water's edge and the road adjacent to the wall. The hatched lines around the southern edge of the playing field indicate the presence of a slope.

The reserve was not surveyed until 1899 and a discrepancy with the Johannah Street boundary required a later survey.<sup>20</sup> The later survey resulted in the creation of a new reserve, 9317 in 1904, which amalgamated the two previous reserves, 6664 and 3048.<sup>21</sup> This reserve of approximately 9 acres was designated as North Fremantle sub lot 223.<sup>22</sup> Curiously the Landgate record for this reserve indicates that the reserve was vested in the Town of Mosman Park. No other records were found to support this association with the Town of Mosman Park.<sup>23</sup>

In 1905, the Johannah Street boundary of the oval was again surveyed and this diagram shows the form of the oval had not changed significantly from the 1901 survey.

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<sup>16</sup> File 1895/443 Cons 541, Reserve 6664, SROWA, folio 17-27.

<sup>17</sup> File 1895/443 Cons 541, Reserve 6664, SROWA, folio 32-37.

<sup>18</sup> *Government Gazette*, 5/5/1899, p. 1288.

<sup>19</sup> File 1895/443 Cons 541, Reserve 6664, SROWA, folio 33.

<sup>20</sup> File 1895/443 Cons 541, Reserve 6664, SROWA, folio 48-54.

<sup>21</sup> *Government Gazette*, 22/7/1904, p. 1906.

<sup>22</sup> *Government Gazette*, 22/7/1904, p. 1906.

<sup>23</sup> It is likely that this reference is an error resulting from the adjacent location of Mosman Park and North Fremantle.

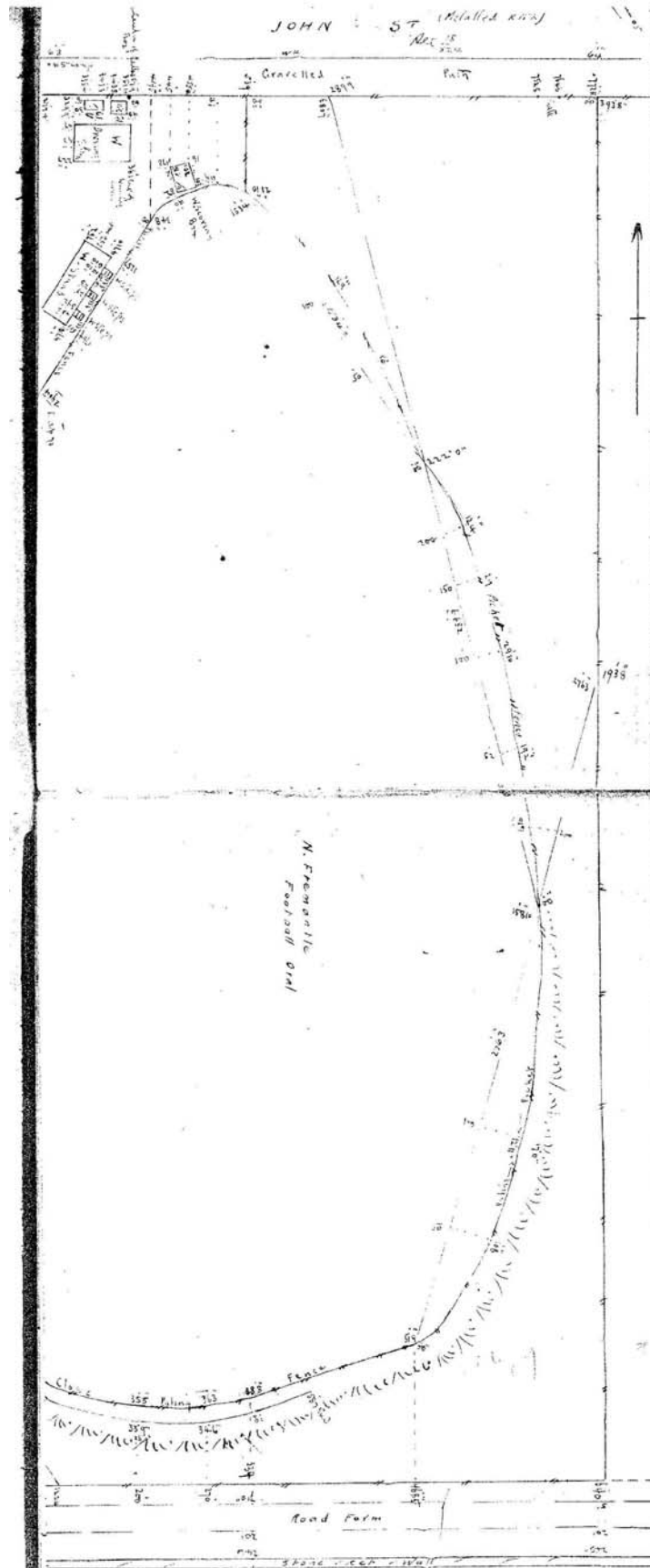


Figure 8 Survey diagram of the North Fremantle Oval, c. 1901.  
 Courtesy Fremantle Local History collection

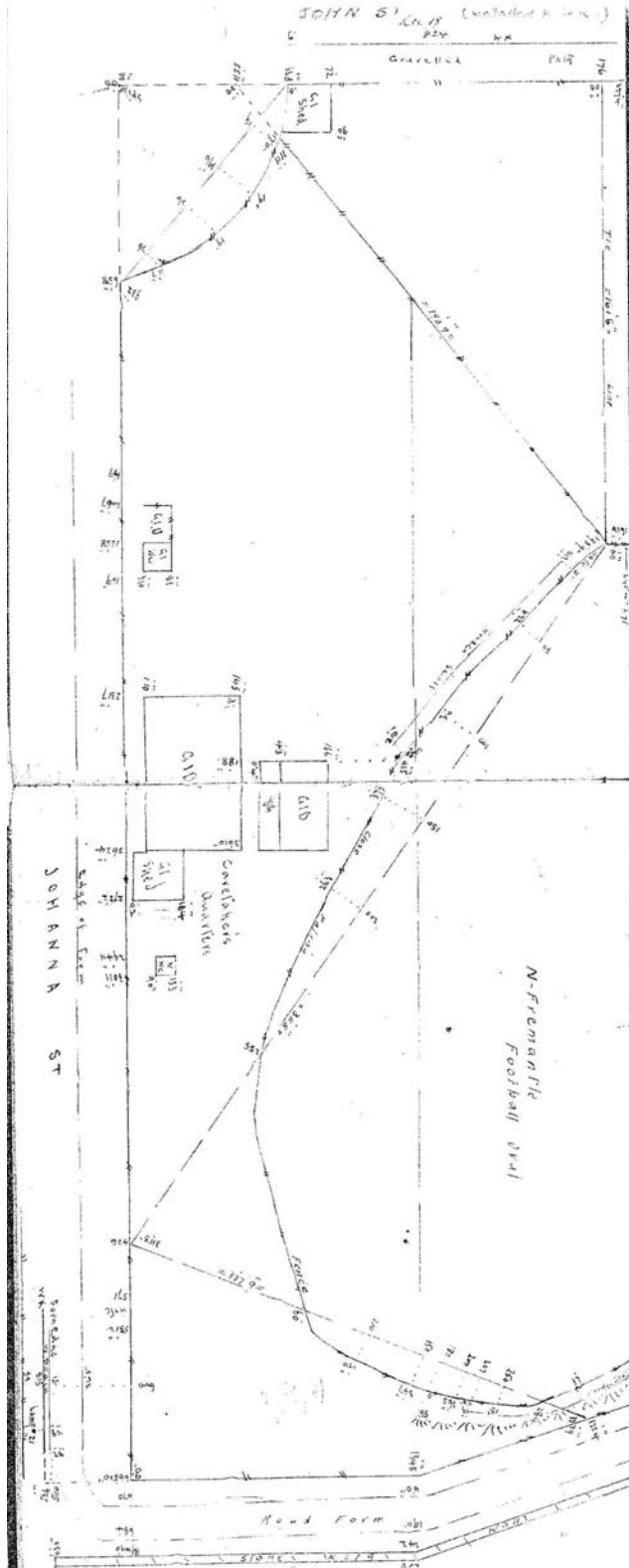


Figure 9 Survey diagram of the North Fremantle Oval, 1905.  
 Courtesy Fremantle Local History collection

## 2.4 Sporting Groups at the North Fremantle Oval 1898 - 1901

In August 1899, as the recreation ground was being prepared for use by the North Fremantle council a public meeting was held that gives an indication of the level of community interest in the North Fremantle Oval.

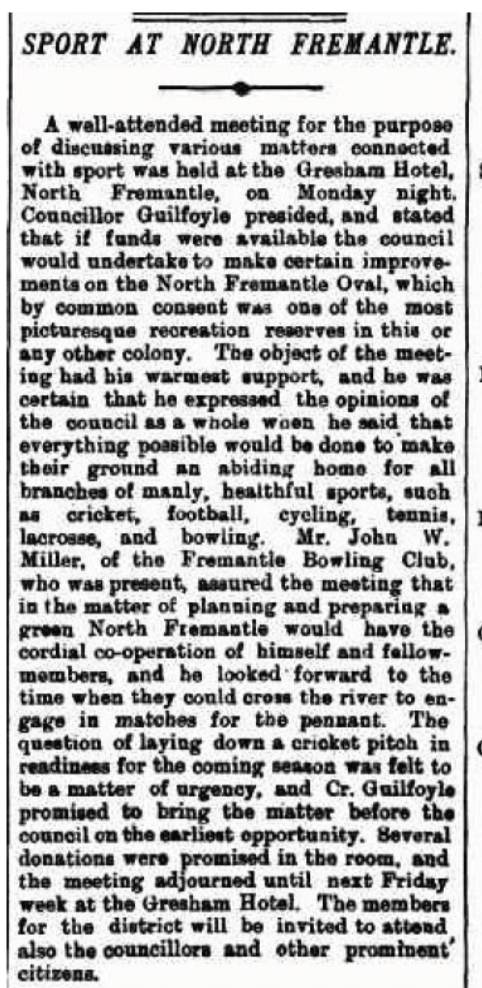


Figure 10 Excerpt from *The West Australian*, 23 August 1899, p. 7.  
Courtesy National Library of Australia website

The North Fremantle Oval was created for the playing of organised sport and access to the oval was controlled. An 8ft fence was located on the reserve boundary and a 3ft fence was located on the oval boundary.<sup>24</sup> It is not clear if the general public could gain admission at any time to the oval or only during matches, training or organised events.

The groups who primarily used the North Fremantle Oval in the late 19<sup>th</sup> and early 20<sup>th</sup> century were sporting groups associated with football, cricket and cycling. The individuals who played sport would often participate in several sports. The practice of playing football in winter and cricket in summer meant many players and families had a year long association with the reserve. This type of association is still noted today with members of the football club often playing cricket in the summer at the Gilbert Fraser Reserve.

<sup>24</sup> Pratt, op.cit. p. 4.

## Cycling

Cycling was a popular pastime in the late 19<sup>th</sup> and early 20<sup>th</sup> century and clubs were formed for race meetings and social events. The North Fremantle Cycling Club formed a deputation who visited the North Fremantle council in late 1897 to find out the progress on the new bicycle track at North Fremantle. The deputation was told that they would be given first use of the North Fremantle Oval.<sup>25</sup> This probably refers to the newly developed oval as it is likely that informal football and cricket matches were held on the site prior to 1898.<sup>26</sup>

In April 1898, the inaugural meeting of the North Fremantle Cycling club was held at the North Fremantle Oval and prize money of £82 10s was offered.<sup>27</sup> Prior to that meeting the new venue was visited by cyclists from the metropolitan area.

Many metropolitan wheelmen have visited the new track at North Fremantle. They are extremely pleased with the appearance of it, and especially with the straight. The banking is high and the surface is of cement, which should prove extremely fast. The straight, which is a particularly long one, is 20 feet wide and perfectly level. The inaugural meeting, on April 30, should be a successful one, from a racing point of view.<sup>28</sup>

The new track was also visited before its inaugural meeting by an international cyclist who tried out the track.

### MADEMOISELLE SERPOLETTE.

Mdlle. Serpolette, the champion lady cyclist, yesterday rode to North Fremantle and Fremantle, and there inspected the local cycling tracks. She expressed approval of each track, and was especially earnest in her admiration of the North Fremantle track, which she said equalled the best she had seen in England, Belgium, France, or Italy. Mdlle. Serpolette lunched at the Cleopatra Hotel, and was afterwards entertained on board the steamer Kalgoorlie, at the south quay. In the evening a visit was paid to the Fremantle track, where Mdlle. Serpolette had a spin, which she relished very much. She was pleased to note the excellent accommodation provided for spectators. After this she returned to Perth by road. During her stay at North Fremantle arrangements were made by Mr. Geo. Oury, on behalf of the N.F.B.C, for Mdlle. Serpolette to try to break the five-mile world's record on the North Fremantle track on its opening day, Saturday next. A five-mile exhibition will be given behind pacers, and Mdlle. Serpolette will also give an exhibition on the electric motor tricycle.<sup>29</sup>

The inaugural event of the North Fremantle Cycling Club was opened by local dignitaries at the North Fremantle Reserve on 30 April 1898.<sup>30</sup>

The popularity of cycling was evident as in late 1898 the North Fremantle Council decided to build suitable 'accommodation with conveniences' for the numbers of cyclists who were using the oval for training.<sup>31</sup> The motivation for the local council was the potential revenue from 'training fees' that were currently expended at Fremantle Oval.<sup>32</sup>

In March 1899, the North Fremantle Cycle Club held the five mile championship event at the North Fremantle Reserve.<sup>33</sup>

In May 1899, it was recorded in the local press that the North Fremantle cycling club were holding their second annual race meeting at the North Fremantle Oval.<sup>34</sup>

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<sup>25</sup> *The West Australian*, 27 November 1897, p. 6.

<sup>26</sup> Pratt writes that the North Fremantle Football Club used the ground from its formation in 1895.

<sup>27</sup> *The West Australian*, 7 April 1898, p. 6.

<sup>28</sup> *The West Australian*, 19 April 1898, p. 6.

<sup>29</sup> *The West Australian*, 27 April 1898, p. 3.

<sup>30</sup> *ibid.*,

<sup>31</sup> *The West Australian*, 15 December 1898, p. 6.

<sup>32</sup> *The West Australian*, 15 December 1898, p. 6.

<sup>33</sup> *The West Australian*, 8 March 1899, p. 6.

<sup>34</sup> *The West Australian*, 24 May 1899, p. 2.

The enthusiasm for cycling did not last long at North Fremantle. In 1902 it was noted in *The Umpire* that the old cycling track was to be taken up to widen the ground for football.<sup>35</sup>

### Football at the North Fremantle Oval

North Fremantle was a solid working class district and football historian Anthony Barker notes football was 'clearly established as the people's game'. In the 1890s the control of football moved away from the colonial elite to come under the control of working men<sup>36</sup> and helped to define the sense of identity of local communities.<sup>37</sup> Loyalty to the local teams was a characteristic of the whole football competition in the early 1900s. Barker also notes that this period saw a tradition of rivalry established between the districts of Fremantle which endures today although the port of Fremantle as a whole drew on its 'solidarity in its suspicion of Perth'.<sup>38</sup>

The North Fremantle Football Club (NFFC) was established in 1895 and games were believed to have been held on the North Fremantle Oval from that time.<sup>39</sup> However it is noted that ground improvements were undertaken in 1897 and 1898 consequently there may not have been many games held before 1899 when the ground was fenced and levelled. Pratt notes in his history of the club that the North Fremantle ground was criticised by other teams because it was long and narrow and the windy conditions of the narrow strip between the Indian Ocean and the Swan River made it a challenging ground.<sup>40</sup> This description may apply to the condition prior to the inclusion of the reclaimed land in 1899.

The NFFC was originally part of the second tier of football in Western Australia known as the First Rate Junior Football association.<sup>41</sup> The NFFC club was successful in this level of competition and joined the highest level of metropolitan competition; the four club senior WA Football Association (WAFA), in 1901.<sup>42</sup> The invitation to North Fremantle was also motivated by the fact that North Fremantle controlled its own ground.

Prior to the inclusion of North Fremantle in the senior association, games between other senior teams were held at the North Fremantle Reserve. In June 1899, a game between Rovers and Fremantle was held on the ground and was deemed to not be a success as the long grass on the ground 'did not favour good football being displayed' and there was a poor attendance.<sup>43</sup> Despite the lack of success the North Fremantle Council charged the WA Football Association (Senior) £7 for two matches played at the game.<sup>44</sup>

During the early years of the 20<sup>th</sup> century, football drew good crowds to the regular games. 'WAFA crowds of up to 4000 at some regular season fixtures – and much larger for finals

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<sup>35</sup> *The Umpire*, 2 October 1902, unpaginated excerpt held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.

<sup>36</sup> In this period it probably was only men who were involved in the administration of football. The role of women in the sport was likely to have been confined to spectators and provision of food.

<sup>37</sup> Barker, Anthony J. *Behind the Play ... A History of Football in Western Australia from 1868* Western Australian Football Commission, Perth, 2004, p. 29.

<sup>38</sup> Barker, Anthony J. *Behind the Play ... A History of Football in Western Australia from 1868* Western Australian Football Commission, Perth, 2004, p. 32-33.

<sup>39</sup> Pratt, Baden *The Mighty Maggies of Gilbert Fraser Reserve 1895-2006 Celebrating 85 years of the North Fremantle Amateur Football Club* North Fremantle Amateur Football Club (Inc.), 2006, p. 20. Pratt states that the first games were held on the North Fremantle Reserve. If this were the case then it was before the reserve had been levelled and it would have been informal matches

<sup>40</sup> Pratt, op.cit.

<sup>41</sup> Pratt, Baden *The Mighty Maggies of Gilbert Fraser Reserve 1895-2006 Celebrating 85 years of the North Fremantle Amateur Football Club* North Fremantle Amateur Football Club (Inc.), 2006, p. 19.

<sup>42</sup> Pratt, op. cit., p. 20.

<sup>43</sup> *The West Australian*, 27 June 1899, p. 6.

<sup>44</sup> *The West Australian*, 1 June 1899, p. 6. Earlier reports in *The West Australian* stated that the North Fremantle council wanted to charge £5 per game.

matches – easily outstripped those for other football codes and cricket. Gate receipts rose annually in the first years of the new century.<sup>45</sup> However the promise of the years of prosperity and rapid development of the 1890s were not sustained in Western Australia and specifically in North Fremantle. A declining population in the area was evident in the poor performance of the football team.

‘the problem of failing crowds in North Fremantle was seen to be the result of more than on-field failure. Already disadvantaged as one of the most poverty-stricken localities in the metropolitan area, North Fremantle had also been dwindling in population from 3270 residents in 1904 to 1801 in 1908.’<sup>46</sup>

The decline in population was also a result of the changing nature of the suburb from residential to industrial/manufacturing.

The strength of the North Fremantle Football Club dwindled in the late 1910s particularly with many players leaving to join the forces during World War One. Regular competitions ceased during the war and at the end of the war in 1919 the North Fremantle team was not able to rejoin the Western Australian Football League due to the decline in numbers. The team was relegated to the B division (equivalent to the current day reserves) and played in the WAFL competition. In 1921, a separate club was formed to compete in the Fremantle Suburban Association competition. This club, still known as the North Fremantle Football Club, was the forerunner of the North Fremantle Amateur Football Club (NFAFC).<sup>47</sup>

The Fremantle Suburban Football Association folded in 1938 and North Fremantle joined the B Grade competition of the WA Amateur Football Association as the renamed North Fremantle Amateur Football Club. The club has maintained a high level of competitiveness since 1921 and today is considered one of the premier clubs in the Amateur league.<sup>48</sup>

In the history of the NFAFC the period 1921 to 1980 has been designated the Golden Years of the club. One of the significant influences on the club in this period was the President Gilbert Fraser who held the position from 1932 to 1958.<sup>49</sup>

Other football clubs are associated with the Gilbert Fraser Reserve. The North Fremantle Ex Scholars Football Club, a club comprising players under 19 years of age, played in the Fremantle Ex Scholars Association under-19 competitions. As the interest and ages kept going up over the years, it was finally decided for the Association to become an open age competition. North Fremantle Ex Scholars Association disbanded in the late seventies or early eighties and the club dropped the ‘Ex Scholars’ from their name.

### Cricket on the North Fremantle Oval

In 1899 a cricket match was held at the North Fremantle Reserve between the Fremantle and North Fremantle Fire Brigades.<sup>50</sup> This rivalry between fire services shows some similarity with the annual Easter championships currently held at the Gilbert Fraser Reserve. The match was played without the benefit of a pitch as a pitch was not laid until 1899 following a request to the North Fremantle Council.

Following the public meeting in the Gresham Hotel in August 1899, the North Fremantle Cricket Club met at the same venue a few weeks later. The meeting decided to affiliate with the Fremantle Junior Cricket Association and take part in the competition of 1899/1900 using the North Fremantle Oval as their home ground. A delegation consisting of Messrs Oldham,

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<sup>45</sup> Barker, op. cit., p. 41.

<sup>46</sup> Barker, op. cit., p. 47.

<sup>47</sup> Pratt, op. cit., p. 45.

<sup>48</sup> For a full history of the club and its players refer to Pratt, op.cit.

<sup>49</sup> Pratt, op. cit. p. 37.

<sup>50</sup> *The West Australian*, 17 April 1899, p. 6

Tilmer, Mathews and Robson was instructed to meet with the city engineer to confer on the position of a cricket pitch. The deputation planned to inform the City Engineer that the club wanted the pitch laid so that in the future another pitch could be laid.<sup>51</sup> The new pitch was first tried on 23 September 1899 between the teams of the 'Bachelors and the Benedicts'.<sup>52</sup> A successful social event was held that evening to celebrate the future success of the club and among the attendees was Daniel Congdon who had been influential in the creation of the reserve.<sup>53</sup> Congdon was a former president of the Fremantle Cricket Club and his sons played with the North Fremantle team.<sup>54</sup>

In September 1899, the North Fremantle Council agreed to lay a concrete cricket pitch on the ground 'at a cost not to exceed £12'.<sup>55</sup>

In October 1899 an issue was raised in the North Fremantle council that demonstrates how access to the oval was controlled.

The North Fremantle Cricket Club wrote asking the members of the club might be allowed to practise on the oval on presentation of their club badges on the club paying the council two guineas. Cr. Guilfoyle advocated that the requisition should be compiled with pointing out that there were a number of young members who wished to play cricket but who could not very well afford to pay half-a-crown for a permit. Cr. Hevron thought that anyone who wished to play and practise cricket should be able to pay the small fee demanded.

Cr. Morgan moved that the use of the ground should be granted to the club on payment of the sum of £2 2s. Cr. Guilfoyle seconded the proposition, which was lost.<sup>56</sup>

From the above information it is apparent that access to the oval was dependent on the financial resources of the individuals.

The following image at Figure 11 taken in c.1905 shows the 3-foot picket fence around the oval. Less distinct is the 8-foot picket fence on the boundary of the reserve. The image at Figure 12 shows the detail of the picket fence and the banking on the inside of the fence. The lamps on the poles indicate events were held on the oval in the evening.

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<sup>51</sup> *The West Australian*, 14 September 1899, p. 6.

<sup>52</sup> *The West Australian*, 23 September 1899, p. 6.

<sup>53</sup> *The West Australian*, 25 September 1899, p. 6.

<sup>54</sup> Pratt, op.cit. p. 15. and the results for the cricket matches held at the North Fremantle Oval 1899 frequently mention Congdon as a player. The online edition of *The West Australian* on the National Library website provides ready access to the sporting results of the period.

<sup>55</sup> *The West Australian*, 15 September 1899, p. 6.

<sup>56</sup> *The West Australian*, 27 October 1899, p. 7.



Figure 11 *View of North Fremantle, Reserve in the mid distance, c. 1905*  
Courtesy Batty Library, image 017562PD.



Figure 12 *Subiaco School Students at North Fremantle Oval, 1903*  
Courtesy Batty Library, image 2549B.

Cricket has continued to be played at North Fremantle throughout the 20<sup>th</sup> century although the clubs have been through several transitions of names and levels of competition. The North Fremantle Cricket Club organised their own team in 1956 to play in the Fremantle and Districts Mercantile Association.<sup>57</sup>

The cricket club currently based at the Gilbert Fraser Reserve is the Fremantle Mosman Park Cricket Club (FMPCC) which was formed in the 1990s. A brief summary of the history of cricket at North Fremantle prepared by the FMPCC illustrates the constant evolution of amateur clubs.

Cricket has been played at an oval in North Fremantle from the late nineteenth century when the legendary Fremantle leg spinner Bobby Selk was bamboozling the country's top batsmen from both visiting interstate and intrastate teams.

Another famous player to grace the ground was Ernie Bromley who played a few Tests for Australia in the early 1930's. In recent times teams representing North Fremantle have played in the Fremantle Mercantile Competition, and the club based at Gil Fraser Oval has been strengthened by the mergers of the Bicton United Cricket Club in the early 1980's, the Districts Cricket Club in late 1980's and the Mosman Park Cricket Club in the early 1990's. The latter amalgamation dramatically changed the resident club's direction as it now participates in the Western Australian Suburban Turf Cricket Association (WASTCA) with its top two sides playing on turf instead of synthetic wickets.

Despite some minor successes in lower grades in previous competitions, the club has now achieved a long-term ambition to play first grade cricket on its own turf pitch located at its own ground. We are now looking forward to entertaining (and beating) the top sides in the WASTCA, so come along and view the action from the comfort of our heritage-listed grandstand. Enjoy the picturesque backdrop of the Swan River and take advantage of the free medicinal effect of the 'Fremantle Doctor' on a hot summer's afternoon!<sup>58</sup>

The achievement of inclusion in the first grade competition required a turf wicket to be laid at the oval. This was undertaken in 2005 at a significant cost<sup>59</sup> and paid by the North Fremantle Associated Clubs.<sup>60</sup>

## 2.5 Construction of the Grandstand

In the early 20<sup>th</sup> century the football, cricket and cycling clubs were well established. The future development of the area notwithstanding the sporting successes of the various teams must have been one of the reasons behind the decision by the North Fremantle Council to construct a grandstand for the benefit of spectators and players.

In 1901, a 'new pavilion and stand' was constructed on the North Fremantle oval. The structure was a grandstand with facilities underneath for players, the whole often referred to as a pavilion. (For the purpose of this report the term grandstand will be used as this is how it is most commonly referred to by the users of the reserve.) Architect Joseph Allen designed the grandstand and the local press described the facility as a 'very neat structure of jarrah and will afford seating accommodation for nearly a thousand'.<sup>61</sup> The grandstand was completed in mid 1901 and before it was handed over to the North Fremantle Council

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<sup>57</sup> Pratt, op. cit., p. 16.

<sup>58</sup> Website of the Fremantle Mosman Park Cricket Club,

<sup>59</sup> Information from Stan Whipp of the North Fremantle Associated Clubs estimated the cost of the turf wicket laid with advice from an international advisor, at approximately \$50,000.

<sup>60</sup> Comments received from members of the North Fremantle Associated Clubs, City of Fremantle community consultation for the review of this conservation plan, April 2010.

<sup>61</sup> *The Umpire* 3 July 1901, excerpt held in File 712.5, of the Fremantle Local History Collection, Fremantle Library. A copy of a request for fees by Joseph Allen is also held in File 712.5, of the Fremantle Local History Collection, Fremantle. No plans were found of the pavilion either from the original construction or later modifications.

an attempt was made to burn it down. Little damage was done and no further information was found as part of the current research to determine the culprit's identity or motivation.<sup>62</sup> The earliest image of the grandstand shown at Figure 13 is from the 1901 Christmas edition of *The Umpire*.<sup>63</sup>

The survey diagram from 1901 (Figure 8) depicts the grandstand, a timber dressing rooms and two galvanised iron water closets were also present behind the dressing rooms. The scoreboard which may have included the press box is shown on this diagram. There is a fence isolating the scoreboard from the remainder of the spectators on the eastern side



Figure 13 Grandstand (Pavilion) 1901.  
Courtesy Fremantle Local History collection.

The image of the grandstand (Figure 13) shows that the form of the original building was very similar to the current except there are three flights of stairs, and a different roof form with a separate awning structure on the front elevation. The verandah is supported by four uprights on the main elevation whereas currently there are five uprights supporting a gable roof. The following image, Figure 14 dated c.1906 featuring a cricket team, shows the detail of the timber finish of the original stairs and balustrades.

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<sup>62</sup> *The Umpire* 21 August 1901, excerpt held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.

<sup>63</sup> *The Umpire*, 24 December 1901, copy held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.



Figure 14 North Fremantle Cricket Club team, c.1906.  
Courtesy Fremantle Local History collection image 1792

In 1910, the grandstand was destroyed by fire. A report of the incident in *The West Australian* describes the attempts to put out the fire and the estimated costs of the damage.

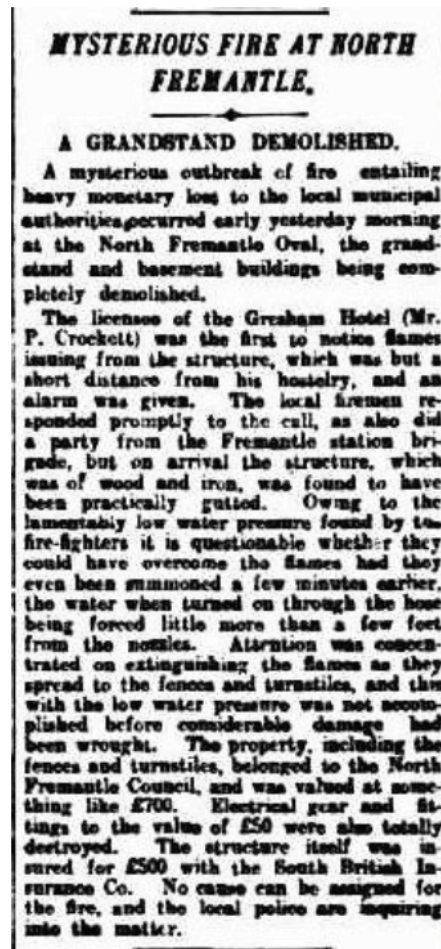


Figure 15 *The West Australian*, 3 February 1910, p. 5.  
 Courtesy Fremantle Local History collection image 1792

The council moved quickly to rebuild the grandstand. Architect Ronald Oldham was engaged to design a replacement grandstand.<sup>64</sup> Oldham was a local architect, resident and an active member of the North Fremantle Football Club and the North Fremantle Cricket Club.<sup>65</sup> Oldham had a practice in Market Street Fremantle which was of a smaller scale to his brother Charles Lancelot Oldham who in partnership with J. Herbert Eales and later Alfred E Cox designed many notable buildings in Western Australia.

The new stand was opened 21 May 1910 prior to a football match between East Perth and North Fremantle.

Prior to the commencement of the match the new grandstand – a fine structure recently built near the site of the old building destroyed by fire some months ago – was, by the hoisting of the local club's flag, formerly declared open by the Mayor (Mr. J. Currie). The new stand, which has seating accommodation for 500, was constructed, by Mr. C. E. Turville (contractor) on the designs of Mr. Ronald G. Oldham (architect).<sup>66</sup>

<sup>64</sup> *The West Australian*, 1 March 1910, p. 1.

<sup>65</sup> Pratt, op. cit., p. 23. *The West Australian*, 14 September 1899, p. 6.

<sup>66</sup> *The West Australian*, 23 May 1910, p. 6.

Charles Turville was a local building contractor and councillor for the Town of Cottesloe. He built the Cottesloe Municipal Chambers and many homes in Cottesloe where he lived.<sup>67</sup>

## 2.6 Additions and alterations to the Grandstand

In 1933, a new lavatory block was constructed at the rear of the Grandstand. The plans for this block were prepared by architects Allen & Nicholas and are included at Appendix D. This toilet block has been substantially modified and added to since that time. The 1933 plans provide some minimal information about the interior of the grandstand at that time. Showers were originally within the grandstand or pavilion building.

A sewerage plan of the site prepared c.1939, shows the location of this lavatory block. The retaining wall in front of the grandstand was built prior to 1939 when it is shown on the sewerage plan of the site (Figure 24).

In 1957, the NFAFC wrote to the North Fremantle Council complaining about the condition of the grandstand. It was noted that the back rests of the seats were in poor repair as was the railings and the roof cladding. The council resolved to remove the damaged back rests and rails, the steps were repaired and it was planned to repair the roof.<sup>68</sup> No further documentary evidence was found to indicate whether the roof repairs were undertaken.

The office located on the south side of the grandstand was constructed in 1987 to a design by architect Carl Payne. The materials and form of the addition complemented the original structure.<sup>69</sup>

## 2.7 Development of the North Fremantle oval 1901 - 1918

Following the construction of the original grandstand in 1901 the oval continued to be developed by the Town of North Fremantle. It was clear that the oval was well used and a feature of the district.

In 1906, a description of the oval and its facilities was prepared by the Town Clerk of North Fremantle, Mr W.D. Evans and presented to the readers of *The West Australian Football Guide*. This article was written to refute the claims that the oval was a 'sand patch' or a 'desert'.

The area of the oval is 9 acres, 2 roods, and 32 perches. This is a fair area our readers will admit. The length of the oval enclosure is 250 yards, and the width of same is 140 yards. The improvements made during recent years are as follows:- pavilion, a press box with telephone, two dressing sheds, and three up-to-date turnstiles. The proposed improvements, which will probably be made this season, will include a fine elevated pavilion, a bowling green, and tennis courts. The old pavilion which was erected as recently as 1901, cost £537 16s to erect.

Mr Evans included in his summary of the oval a list of the expenses spent at the oval and it is noted that £547 was spent in 1905 for improvements to the oval. These figures suggest that the oval was well patronised in the early years of the 20th century for multiple sports.

In the same publication a further description of the ground was provided in relation to the aspects of the ground relevant to cricket.

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<sup>67</sup> Battye, J. S. [ed.] *The Cyclopaedia of Western Australia an Historical and Commercial Review An Epitome of Progress*, Two Volumes, facsimile edition Hesperian Press, 1985. First published by Hussey and Gillingham, Adelaide, 1912, p. 566.

<sup>68</sup> Letters dated 17 June 1957 from NFAFC to NFC, letter from NFC to NFAFC, 4 July 1957. Council Minutes excerpt held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.

<sup>69</sup> Pratt, op. cit., p. 85.

Apart from a football standpoint, it is important to state that the cricket pitch on the North Fremantle Oval, composed of Merri Creek soil, is one of the best in the State. Such is the opinion of Mr. Karl Quist, captain of the Fremantle Cricket Club, and erstwhile New South Wales senior player. Mr. Quist informed the writer that it was a pleasure for him to bat on the pitch when properly prepared. The above statements surely speak volumes for the enterprise of the North Fremantle councillors. May their good work continue is the wish of the compilers of this publication. It is impossible to conceive a more prettily situated ground than the North Fremantle oval, the confines of the Swan River, and the ever-green trees on the East Fremantle side, forming a beautiful background. The oval is easy of approach, being about four minutes' walk from railway station. Cabs from Fremantle ply regularly to the gates on match days.<sup>70</sup>

The reference to Merri Creek soil is a term that is synonymous with clay soils that are favoured for cricket pitches in Australia.<sup>71</sup> Given that the North Fremantle Oval is on a sandy river bank it is likely that the pitch soil was brought in. This must have occurred after the former cement pitch was laid in 1899. The following images at Figure 16 and Figure 17 accompanied the above description.



Figure 16 View of the North Fremantle Oval, c.1906.  
Courtesy Fremantle Local History collection

<sup>70</sup> *The West Australian Football Guide*, 1906, excerpt held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.

<sup>71</sup> Beehag, Gary W, 'Cricket Wicket soils – will the ball bounce or spin? Australian Golf Course Superintendants Association website. [http://www.agcsa.com.au/static/atm\\_articles/html/1\\_4e.html](http://www.agcsa.com.au/static/atm_articles/html/1_4e.html) accessed 1 September 2009. Merri Creek is in Victoria but soils with similar characteristics have been given that name as a descriptor. It is unlikely that soil would have been transported from Victoria but a source of similar soil type in Western Australia must have been used at North Fremantle.

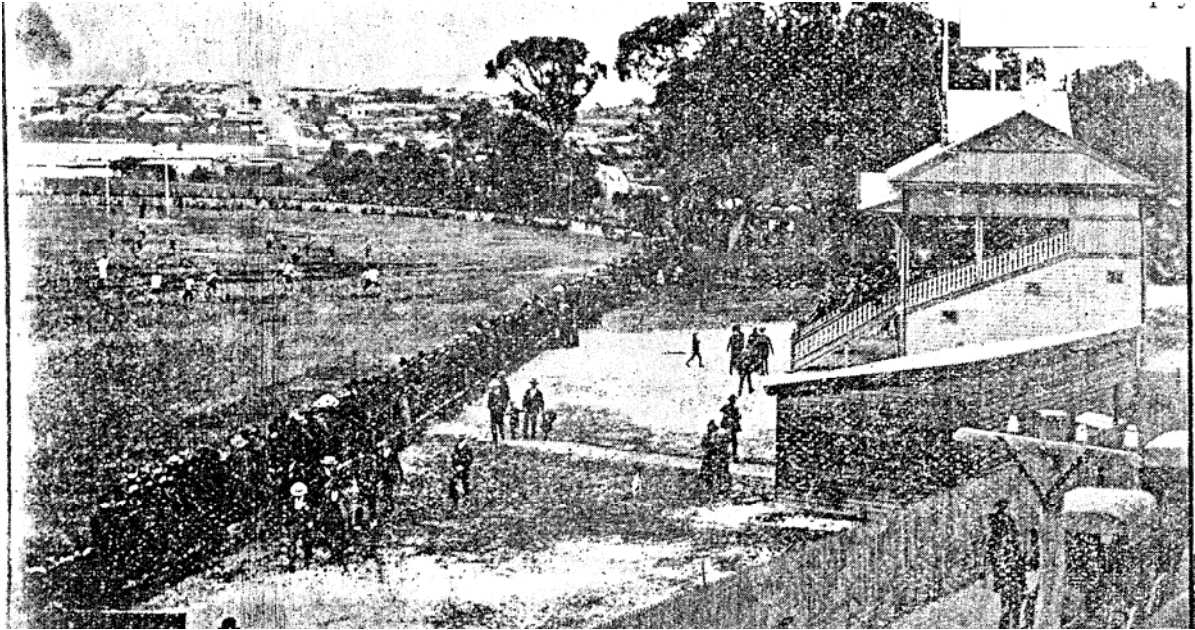


Figure 17 View of the North Fremantle Oval, c.1906.  
Courtesy Fremantle Local History collection

The reference to a press box in the 1906 description demonstrates the popularity of the game and the ground. The North Fremantle ground was used for the senior metropolitan football matches and the appropriate facilities had to be provided. The press box was located west of the former dressing rooms and an image of the interior of the press box is included at Figure 18.<sup>72</sup>



Figure 18 Press Box, c.1906  
Barker, *op.cit.* p. 33.

Whilst football and cricket continued to be played at North Fremantle Oval in the 1910s it is apparent from the image at Figure 19 that any evidence of the former cycling track did not last long at the oval. As noted earlier the cycling track was removed in 1902.

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<sup>72</sup> The exact form and location of the press box has not been investigated, as the building is no longer extant.



Figure 19 Original Grandstand, dressing rooms and Hotel Gresham, c. 1910  
Courtesy Battye Library, image number 9123B.

In 1912, the reserve was described as follows;

The North Fremantle Recreation Reserve, which is vested in the municipality, is prettily situated on a bend on the river and has a commodious pavilion and training rooms.<sup>73</sup>

A site plan of the area c.1913 Figure 20 shows the location of the grandstand and caretakers quarters. The slope from the oval to the river is still evident. A retaining wall and road is still present alongside the river and the fencing is as previously described.

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<sup>73</sup> Battye, op. cit., p. 555.

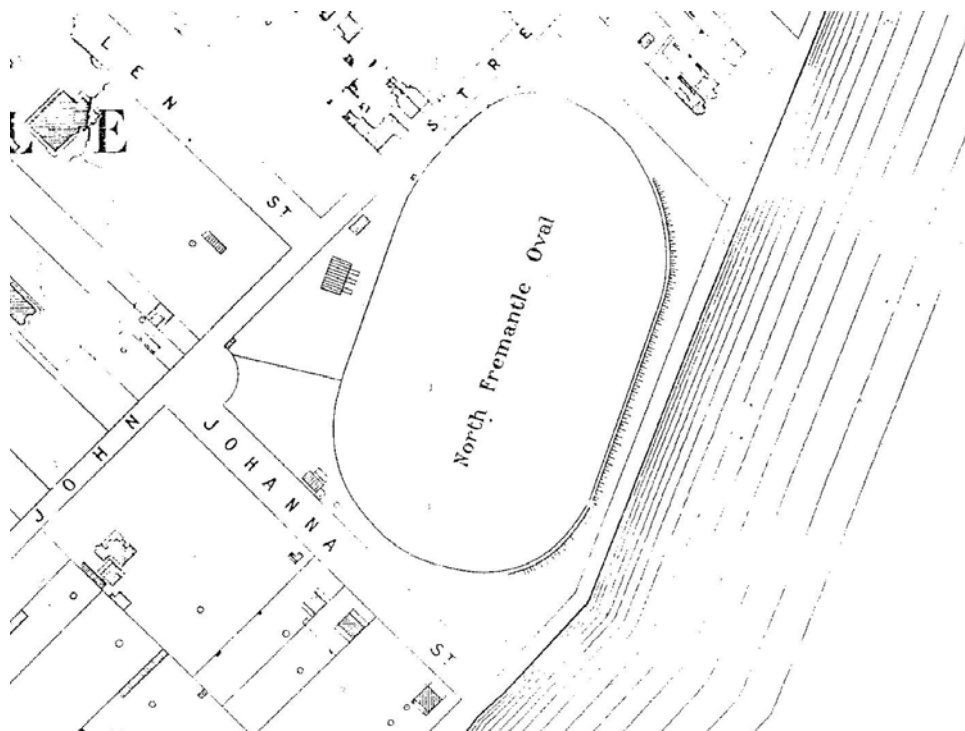


Figure 20 Plan of North Fremantle Oval, c.1913  
 Courtesy Fremantle Local History Library.

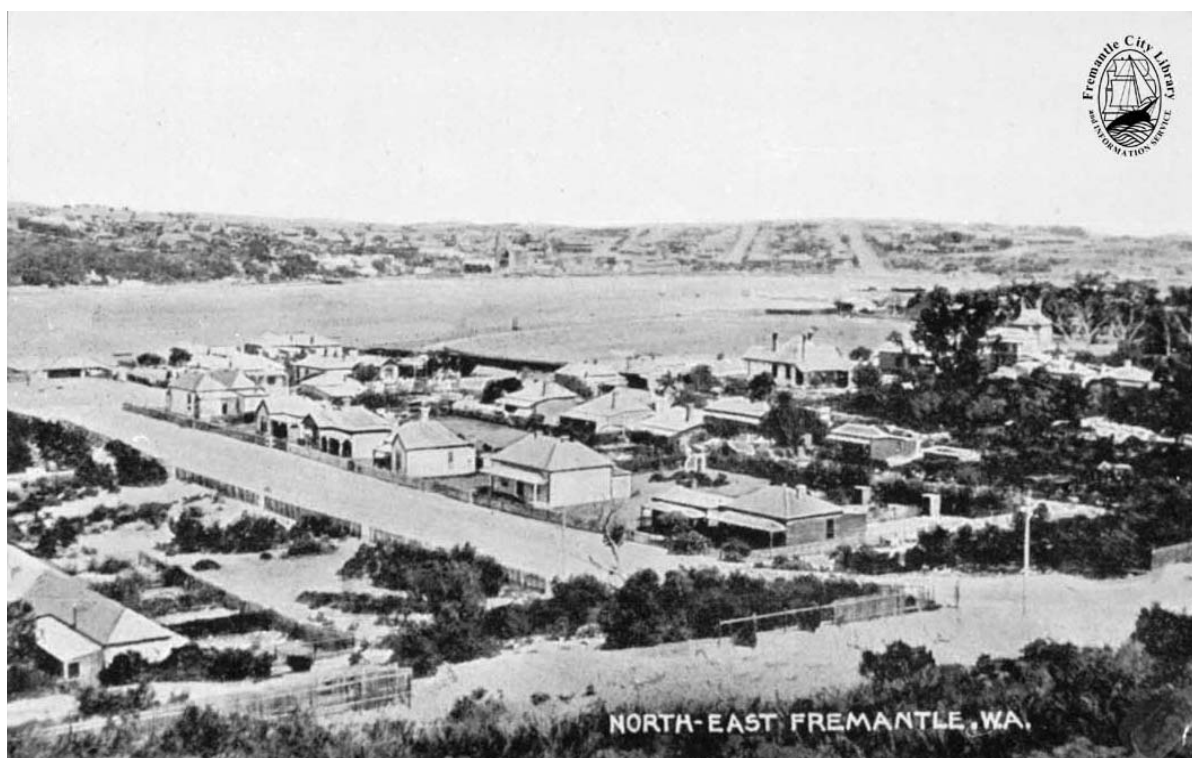


Figure 21 View of North Fremantle, Reserve in the mid distance, c.1918  
 Courtesy Fremantle Local History Library, image 2109

The image at Figure 21 shows the reserve in c.1918 with the pavilion in evidence with what appear to be large flagpoles at the apex of the roof gable. The inner and outer picket fences are still apparent. No significant planting is evident on the reserve.

During World War One there was little sport played at the North Fremantle Oval. The membership of the North Fremantle Football Club was particularly depleted as its players joined the forces and in many cases did not return.<sup>74</sup>

## 2.8 New Sporting clubs - Tennis and Hockey 1921 - 1939

As described earlier the North Fremantle Football Club was resurrected as the North Fremantle Amateur Football Club. The club was a mainstay in the social life of the North Fremantle community. Its success and a renewed mood of optimism in the community may have been factors in the decision to establish a tennis club on the North Fremantle Oval in the same year that the North Fremantle Amateur Football club was founded.

### Tennis at the North Fremantle Oval

It is believed that Mrs H.C. McCarthy was the instigator for the establishment of tennis courts on the North Fremantle Reserve. The Mayor of North Fremantle, Robert Bracks called a public meeting to establish the club.<sup>75</sup> George Meiers, a captain and coach of the football club and local resident was also actively involved in the establishment of the tennis club.<sup>76</sup>

It is probable that the courts were built on filled land as the earlier survey diagrams (Figures 8 and 9) show that the oval was higher than the land adjacent to the river. To construct the courts fill was probably brought onto the site, or possibly dredged from the river, to create a level surface. The 1939 site plan shows that the level of the ground in front of the grandstand was higher than it had been when constructed. (see Figure 24)

Six of the courts were built as a result of 'busy bees' on the south west corner of the reserve and were officially opened by W.C. Angwin, MLA, Minister for Works on February 11 1922.<sup>77</sup> Angwin had previously been the patron of the North Fremantle Football Club. Several timber buildings were constructed on the site for the North Fremantle Tennis Club. Photographs of the tennis club members from the 1920s to 1950s frequently show weatherboard buildings as a backdrop. (see Figure 22) None of the tennis club buildings remain although photographs demonstrate the form and scale of the buildings which were on the site.

A seventh court was added in the 1940s. The aerial photograph at Figure 29 dated 1948, shows the location of the tennis courts.

The tennis club had their own entrance off Johannah Street and metal gates were installed there in honour of one of the tireless workers for the North Fremantle Tennis Club, Les Charlton. Charlton held several positions within the tennis club and was also the Mayor of North Fremantle, 1949-51.

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<sup>74</sup> Pratt, Baden *Hell for Leather the Forgotten Footballers of North Fremantle* North Fremantle Amateur Football Club, 2008. This book provides a detailed account of the North Fremantle footballers who served overseas in the Australian forces.

<sup>75</sup> Pratt, op. cit., p. 16.

<sup>76</sup> Pratt, op. cit., p. 45.

<sup>77</sup> Pratt, op.cit., p. 16.



Figure 22 View of Tennis Courts 1922  
Courtesy Fremantle Local History Library, Image 1005K

The tennis club was disbanded in 1961 and with the removal of the courts the oval was extended to the southwest. The gates honouring Les Charlton were relocated to John Street in the early 1990s and a limestone wall was built to define the entrance. The rock used for the wall was the remaining rubble from the excavations to build the clubroom extensions in approximately 1987.<sup>78</sup>

#### Hockey at the North Fremantle Oval

To cater for the growing sport of hockey in the Fremantle districts an area was made available in 1933 at the northern end of the reserve for regular games. The following image shows North Fremantle Ladies Hockey team on the opening of the Hockey ground on the North Fremantle Oval.

A split occurred in the club in 1951 and a team was established in Gibson Park, Fremantle whilst the reformed North Fremantle Hockey club remained at North Fremantle. In 1954, the Hockey club built a modest clubhouse which is now the bar area within the hall.

The Hockey club disbanded in approximately 1975.

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<sup>78</sup> Information from Stan Whipp in conversation with Prue Griffin, 26 August 2009.



Figure 23 *North Fremantle Ladies Hockey team, 1933*  
*Courtesy Fremantle Local History Collection, image 3724.*

## 2.9 1939 to 1961

A plan of the site was prepared in 1939 (see Figure 24) and it shows that a stone retaining wall of approximately 4 feet in height was in evidence across the front of the grandstand. This wall and the retained fill are still present. Also in evidence on this plan are the caretaker's quarters, stables and a timber dressing rooms used by the tennis club.

Of note is a fenced portion of the reserve on the northern boundary. This land is not part of the reserve although over the years through continual use the land has been assumed to be part of the reserve. (See Figure 41) The grass on this lot is currently maintained by the leaseholders the NFAC.

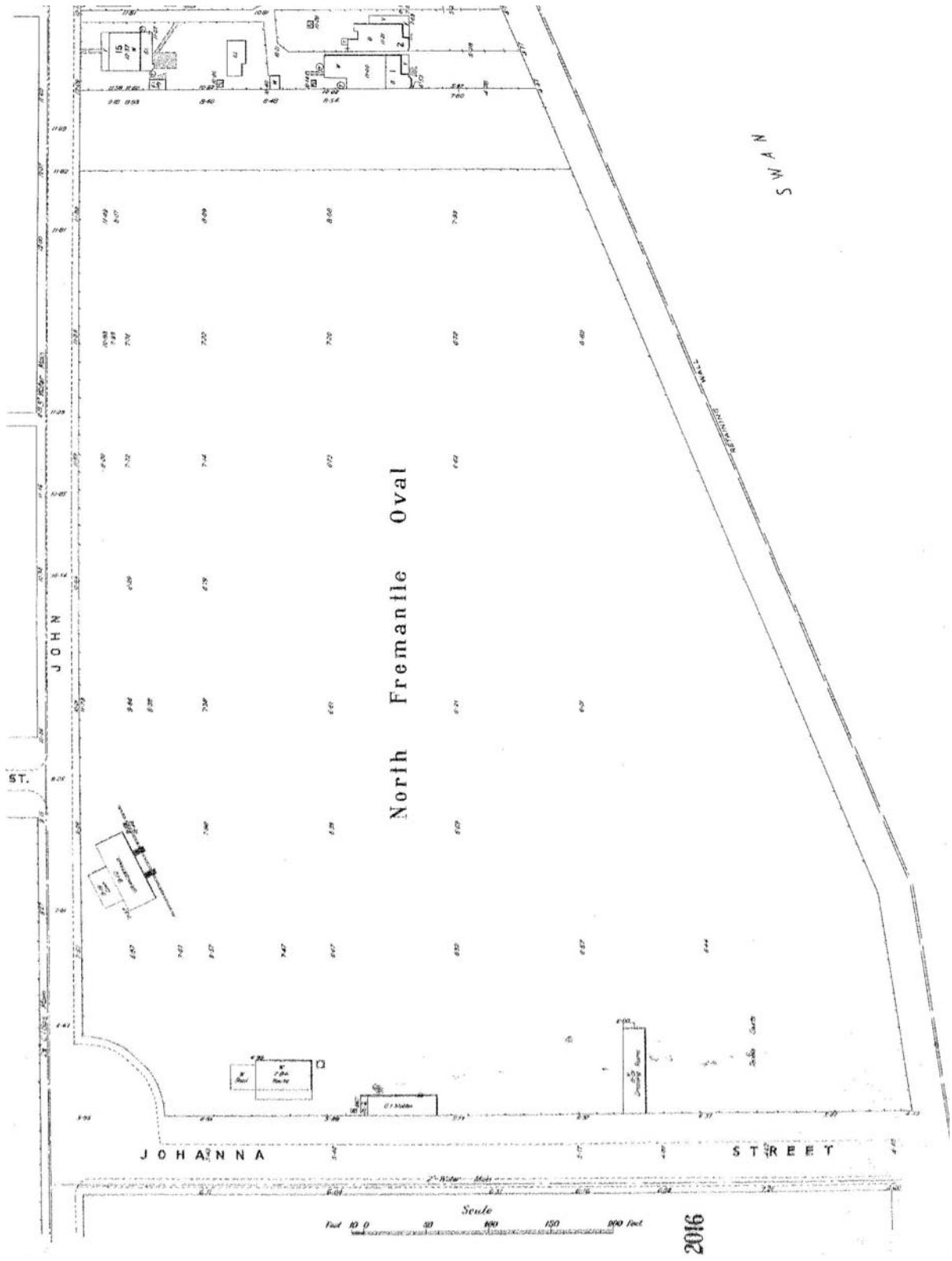


Figure 24 MWSS & DD Sewerage Plan 2107, 1939  
 Courtesy SROWA.

During World War Two parts of North Fremantle were coopted for uses relating to the war effort. The United States military personnel occupied the adjacent Hotel Gresham and the change rooms<sup>79</sup> on the oval were used as a Sergeants Mess. Anti aircraft guns were erected on the North Fremantle oval as the images Figure 25, Figure 26 and Figure 27 demonstrate.<sup>80</sup> The exact positions of the guns have not been determined but these images suggest that the gun was located close to the riverside boundary. A small pine tree is evident on the riverside boundary and this suggests that the large pine trees, which are currently evident on the site, were planted shortly before this photograph was taken.



*Figure 25 Gun Emplacement at Gilbert Fraser Reserve, 1939-45  
Courtesy Australian War Museum, image 028906*

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<sup>79</sup> These change rooms were presumably the rooms under the grandstand or possibly the simple weatherboard building located adjacent to the grandstand shown in the image at figure 19.

<sup>80</sup> Tetley, op. cit., p. 62.



Figure 26 Gun Emplacement at Gilbert Fraser Reserve, 1939-45  
Courtesy Australian War Museum, image 028903



Figure 27 Gun Emplacement at Gilbert Fraser Reserve, 1939-45  
Courtesy Australian War Museum, image 028903

Information from the current leaseholders states that bricks presumed to be from the former gun emplacement were found during later works on the oval.<sup>81</sup>

During World War Two no sport was played at the North Fremantle Oval and access was also prohibited, after 1945, sport resumed on the oval with renewed enthusiasm.

### Hall

In 1954, the Hockey Club built a small clubroom for their members. The clubroom was basically a change room and storage facility and is now the bar area of the hall.

By 1956 the membership of the three main users of the North Fremantle Oval, the North Fremantle Amateur Football Club, the North Fremantle Ex-Scholars Football Club and the North Fremantle Hockey Club had increased considerably. The three clubs approached the North Fremantle Council with plans to build a recreation hall for the football clubs and a change rooms for the hockey club, their section to include showers, toilet and kitchen. The building was completed in 1957 and leased to the three clubs. The new building adjoined the modest clubrooms built by the Hockey Club in 1954.<sup>82</sup>

The hall was upgraded in 1976 to include internal toilets. Following the establishment of the North Fremantle Associated Clubs in 1989 the hall was again refurbished with portion of the funds supplied by the Fremantle Council. The new verandah and roof treatment was undertaken after 1989. Much of the work undertaken on the buildings at the Gilbert Fraser Reserve is done by voluntary labour supplied by the members of the NFAC.<sup>83</sup>



Figure 28 Fremantle District Ex Scholars Association Vs Metropolitan Junior Football Association, 1957.  
Courtesy Fremantle Local History, image 1740.

<sup>81</sup> Information from Stan Whipp in conversation with Prue Griffin, 26 August 2009.

<sup>82</sup> Tetley, op. cit., p. 63.

<sup>83</sup> Tetley, op. cit., p. 63.

One of the last contributions the North Fremantle Council to the North Fremantle Oval was the construction of the new caretakers quarters in 1961. A plan submitted by builder Norm Lunt was considered to be an attractive option and council agreed to the fee of £2795. The building was constructed in mid 1961. The occupant at that time was Mr B. J. Streeter.<sup>84</sup>

## 2.10 1960s Rejoining the City of Fremantle and Honouring Gilbert Fraser

In 1961, the town of North Fremantle became part of the City of Fremantle. As part of this process all outstanding debts owed by the leaseholders of the North Fremantle Oval to the town of North Fremantle were waived. This removed the burden of debt from the North Fremantle Amateur Football Club and the other clubs using the North Fremantle Oval.<sup>85</sup>

In 1963, the City of Fremantle recommended that the North Fremantle Oval be renamed the Gilbert Fraser Reserve in recognition of the contribution of Gilbert Fraser to the community of North Fremantle and specifically the North Fremantle Football Club based at the oval. There was discussion in the council that the reserve be named the Gilbert Fraser Oval but the majority of the councillors felt that because a range of sports and activities were undertaken at the reserve the name 'oval' would not be an accurate representation as it implied only a venue for football.<sup>86</sup>

The new entry gates celebrating the contribution of Gilbert Fraser were presumably installed in the 1960s although no documentary evidence was found to support this conclusion. It is recalled by members of the NFAC that the current carpark was formerly used by the City of Fremantle as a council depot for the storage of materials including sand and gravel.<sup>87</sup>

## 2.11 Volunteer Fire and Rescue Service

Formerly known as the WA Fire Brigades Board, this group co-ordinates and trains volunteers to assist in times of emergency. The first volunteer fire brigade was established in Fremantle in 1885 and other brigades swiftly followed. In 1898, the first official competition between nine brigades was held in Fremantle. Following this demonstration and competition the brigade captains met and the WA Fire Brigades Association was established.<sup>88</sup>

The annual competition facilitates a sense of community between the various brigades and the program for the demonstrations is based on the actions involved in responding to a fire call. The activities simulate the rush of the appliances to the fire, laying out the equipment and extinguishing the blaze. Competitions and demonstration were held at Fremantle Oval for many years and transferred to the Gilbert Fraser Reserve in 1966.<sup>89</sup>

A bitumen track was laid on the riverside of the oval for the annual Easter State Championships. It is believed that the toilets on the riverside of the oval were built at this time by the WA Fire Brigade Association. Access to the riverside of the oval was enabled with the provision of a gate at the river end of Johannah Street. The two storey building dedicated for the competition is known as the 'timing stand' and houses the electronic

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<sup>84</sup> Excerpts from North Fremantle Council minutes, dated 26/1/1961 excerpt of minutes held in File 712.5, of the Fremantle Local History Collection, Fremantle Library,

<sup>85</sup> Information from Stan Whipp in conversation with Prue Griffin 26 August 2009.

<sup>86</sup> Fremantle Council Minutes, 20 May 1963, excerpt of minutes held in File 712.5, of the Fremantle Local History Collection, Fremantle Library.

<sup>87</sup> Information from Stan Whipp in conversation with Prue Griffin 26 August 2009.

<sup>88</sup> FESA website, History of Fire and Rescue Service, <http://www.fesa.wa.gov.au/> accessed 18 August 2009.

<sup>89</sup> FESA website, History of Fire and Rescue Service, <http://www.fesa.wa.gov.au/> accessed 18 August 2009.

equipment for determining the outcomes of the events.<sup>90</sup> The building recognises Thomas Charles Carlisle who made a significant contribution to the WA Fire Brigades Board.

## 2.12 Additions and Alterations 1970s to 2009

In 1971, it was proposed that the 1933 toilet block at the rear of the grandstand was to be demolished but the NFAFC proposed that they be converted to an ablution block, as no internal toilets were present within the change rooms. The original external entrance was blocked in and a new entrance made from within the change rooms. The alterations were completed in 1972. A gymnasium was later added to the eastern side of the ablution block.

In 1972, lights were installed on the grandstand to enable the continuation of training after dark. These lights lighted only a portion of the area adjacent to the grandstand but in later years the remainder of the oval was able to be flood lit.

The construction of the Stirling Traffic Bridge in 1974 had an impact on the foreshore adjacent to the Gilbert Fraser Reserve. An accumulation of silt adjacent to the bridge foundations made the beach area wider and the water shallower. Aerial photographs demonstrate the change to the water frontage as a result of this structure. (See Figures 27-31) The construction of the bridge had the affect of dividing the suburb of North Fremantle into more discrete areas of industry and residential.

The new office adjoining the western side of the grandstand was design by Fremantle architect, Carl Payne.<sup>91</sup> The form and materials used for the new office complemented the grandstand. In the same year the North Fremantle Amateur Football Club received funding from the Department of Sport and Recreation to extend the gymnasium facilities under the grandstand.<sup>92</sup> The additions were completed in 1987 and the extensions were officially opened in June 1987.<sup>93</sup>

In 1986, the reticulation pipes for the oval were sunk underground. This was an enormous saving in time and energy in the maintenance of the oval.<sup>94</sup> In addition, this allows the usage of the whole oval at all times by the various community and sporting groups.<sup>95</sup>

In 1989, the North Fremantle Amateur Football Club, the North Fremantle Sunday League and the Fremantle Mercantile Cricket club combined to form the North Fremantle Associated Clubs (NFAC). The first General Manager of the club was former opera singer Dennis Kestel. A report of the amalgamation in *The West Australian* stated that 'under Fremantle Council's user pays policy, the clubs amalgamated to administer the Gilbert Fraser Reserve, saving the council approximately \$55,000 per year'.<sup>96</sup> Since that time the Associated Club has funded the maintenance and management of the reserve.

In 1996, the water table in the vicinity of the reserve dropped causing a lack of water and the pump serving the bore seized. A new bore was sunk within the reserve but the water it produced was brackish. The brackish water led to the death of the grass and destruction of new plantings. The Fremantle Council took the step of trucking water in to irrigate the reserve whilst seeking a solution to the problem. Nevertheless much of the grass died and

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<sup>90</sup> Information from Max Osborne of FESA in conversation with Prue Griffin, 1 September 2009.

<sup>91</sup> Pratt, op. cit., p. 85.

<sup>92</sup> Pratt, op. cit., p. 85.

<sup>93</sup> Tetley, L.A. *The Maggies North Fremantle Amateur Football Club Inc. 1921-1990* unpublished document, in file of the Fremantle Local History Collection, File 712.5, Fremantle Library, p. 62.

<sup>94</sup> Tetley, L.A. *The Maggies North Fremantle Amateur Football Club Inc. 1921-1990* unpublished document, in file of the Fremantle Local History Collection, File 712.5, Fremantle Library.

<sup>95</sup> Comments received from members of the North Fremantle Associated Clubs, City of Fremantle community consultation for the review of this conservation plan, April 2010.

<sup>96</sup> *The West Australian*, 12 September 1989, unpaginated clipping in file of the Fremantle Local History Collection, File 712.5, Fremantle Library

the North Fremantle Amateur Football Club was not able to play on their home ground for in the 1998 season.<sup>97</sup> In November 1998, the City of Fremantle resolved to concrete grout the new bore and install a concrete storage tank on the reserve and develop an additional shallow bore to extract fresh water. The cost of these works was estimated to be approximately \$75,000.<sup>98</sup>

The NFAC have continued to develop and maintain the grounds. In recent years the NFAC have installed flood lighting at the grounds to enable the *Gilbert Fraser Reserve Precinct* to be used at night. The lighting towers were installed in two stages as funding permitted, two of the lighting towers were relocated from the Perth oval.

The additional seating located adjacent to the entrance to the oval was installed by the NFAC.

In the early 1990s the group, 'Interchange', a service provider for young disabled adults took up a lease in the former stables. In the early 1990s many young adults were taken out of institutional care and moved back into the community. Groups such as Interchange provided training and support for these individuals. Interchange held training sessions in the former stables and modified some of the internal rooms for this purpose. Woodworking was one activity held on the site. The brick paving and pergola that is built on the former stables was one of the training activities undertaken by the group. The strong ties between Interchange and the *Gilbert Fraser Reserve Precinct* continue although they no longer lease the former stable. Interchange use the hall as a venue for social events, their AGM and members regularly come to the informal social gatherings at the hall. One former member of Interchange works as volunteer cleaner for the Football Club.

The links that remain between Interchange, the *Gilbert Fraser Reserve Precinct* and the clubs that operate there demonstrate the breadth of community involvement in the place.<sup>99</sup>

Adjacent to the Gilbert Fraser Precinct on Johannah Street is the APACE organisation which occupies an 1892 cottage, Winter House, adjacent to Part Reserve 36420 bordering the Swan River. This organisation, founded in 1983, is a self-supporting, community-based organization promoting appropriate technology and environmentally sustainable development. The grounds are used for a community revegetation nursery and revegetation service. The area bound by John Street, Johannah Street and Bruce Street was a Chinese Market Garden in the 1920s through to the 1940s so its current use as a nursery is consistent with this former use. The presence of this community based organisation alongside the Gilbert Fraser Precinct makes this area strongly focused on the needs of the North Fremantle and broader community.

### 2.13 Current Use

The *Gilbert Fraser Reserve Precinct* is a well-used facility that is the home ground to many sporting groups, community groups and for passive recreation. In 2010, there are seven football teams under the banner of the North Fremantle Football club, which use the ground for weekly matches and training during the winter season. The Fremantle Mosman Park Cricket Club (FMPCC) uses the ground for matches weekly during the cricket season and the positioning of the wickets enables two matches to be run concurrently.

The East Fremantle Tricolore Soccer Club has used the north-eastern portion of the grounds for games every Sundays during the winter season since 2003.<sup>100</sup>

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<sup>97</sup> *The West Australian, Special Combined Community Edition*, 26 December 1997, unpaginated clipping from the Fremantle Local History File 712.5, Fremantle Library.

<sup>98</sup> Fremantle Council Report for Management Meeting, 5 November 1998. Held in Fremantle Local History file 712.5, Fremantle Library.

<sup>99</sup> Information from Carol Baker, Interchange Pty Ltd, in conversation with Prue Griffin, 28 August 2009.

The Fire and Emergency Services hold competitive games at the reserve twice throughout the year. The Easter games have been a regular feature at the *Gilbert Fraser Reserve Precinct* since 1966.

The former stables are currently leased for use as a gymnasium. The stables were originally built for horses that were used to drag mowers and turf wicket rollers<sup>101</sup>.

The *Gilbert Fraser Reserve Precinct* is used as the sports ground for the adjacent North Fremantle Primary School. Sports training, games and the annual athletics carnival are held at the oval.

The NFAC led by the North Fremantle Football club frequently supply catering services for community and school events and there are close links between the school and the NFAC. The continuing association between the place, volunteers and the members of 'Interchange' demonstrates the strong links between the grounds and a wide range of community groups.

In 2009, the *Gilbert Fraser Reserve Precinct* is maintained by the leaseholders, the North Fremantle Associated Clubs (NFAC). Leasing of the buildings on site is also managed by the NFAC. The grounds are maintained by the NFAC with some equipment and expertise supplied by the City of Fremantle.

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<sup>100</sup> East Fremantle Tricolore website. Club history, <http://www.eastfreesoccer.org.au> accessed 28 August 2009.

<sup>101</sup> Comments received from members of the North Fremantle Associated Clubs, City of Fremantle community consultation for the review of this conservation plan, April 2010.

## 2.14 Historic Images

### Sequence of Aerial Photographs



Figure 29 *Aerial Photograph of North Fremantle Recreation Reserve, 1948. Note the tennis courts on the southern corner and evidence of former market gardens on south side of Johannah Street. Courtesy Landgate.*



Figure 30 *Aerial Photograph of North Fremantle 1960s, Courtesy Fremantle Local History collection, image 359.*



Figure 31 *Aerial Photograph of North Fremantle 1967,  
Courtesy Fremantle Local History collection, image 359.*



Figure 32 *Aerial Photograph of North Fremantle 1974,  
Courtesy Battye Library, image 360918PD.*



Figure 33 *Aerial Photograph of North Fremantle 1974,  
Courtesy Battye Library, image 360916PD*



Figure 34 *Aerial Photograph of North Fremantle 1974,  
Courtesy Battye Library, image 360917PD*



Figure 35      *Aerial Photograph of North Fremantle 1974,  
Courtesy Battye Library, image 360920PD.*



Figure 36      *Aerial Photograph of North Fremantle 1974,  
Courtesy Battye Library, image 360919PD.*



Figure 37 *View of oval from grandstand, c. 1980*  
Courtesy of Fremantle Local History, image 111A



Figure 38 *Aerial Photograph of North Fremantle 1982,*  
Courtesy Batty Library, image 216801PD.



Figure 39 *View of Gilbert Fraser Reserve Precinct from East Fremantle, 1987  
Courtesy of Fremantle Local History, image 4803*



Figure 40 *Aerial Photograph of Gilbert Fraser Reserve Precinct 1999,  
Courtesy Landgate.*



**Figure 41** *Aerial photograph of Gilbert Fraser Reserve Precinct overlaid with boundary, Courtesy Landgate.*  
*The image above shows that there is some discrepancy between the extent of the reserve boundary and what is commonly understood to be part of the reserve. This portion of precinct, lot 67, is owned by the City of Fremantle and maintained by the NFAC. The relationships between the various stakeholders associated with the Gilbert Fraser Reserve Precinct have been varied as the personalities involved have changed. This has had an impact on the extent and nature of responsibilities at different times particularly since the creation of the NFAC in 1989.*

## 2.15 Associations

### 2.15.1 Daniel Keen Congdon

Daniel Keen Congdon (c.1836-1907) was an influential member of the Fremantle community in the late 19<sup>th</sup> and early 20<sup>th</sup> century.

Daniel Congdon was born in Kent and arrived in the Swan River Colony in 1853 as a prison Guard.<sup>102</sup> He married Jane Fairbairn in 1861 and they had 13 children.<sup>103</sup> Congdon worked as a teacher in Pinjarra and was then a chemist in Fremantle. He became a member of the Fremantle City Council in 1875 and 1887-80; and a JP in 1886.

He achieved the position of Mayor of Fremantle from 1883 to 1888 and 1891 to 1892. He then stood for election as Mayor in the first elections for the new municipality of North Fremantle and secured that position from 1895 to 1899 and from 1901 to 1903. He was patron of cricket, football and athletic clubs.

Congdon was a nominated member of the Legislative Council from 1887 to 1890; and 1892 to 1894. He was the elected representative of the West Province in the Legislative Council from 1894 to 1900.<sup>104</sup>

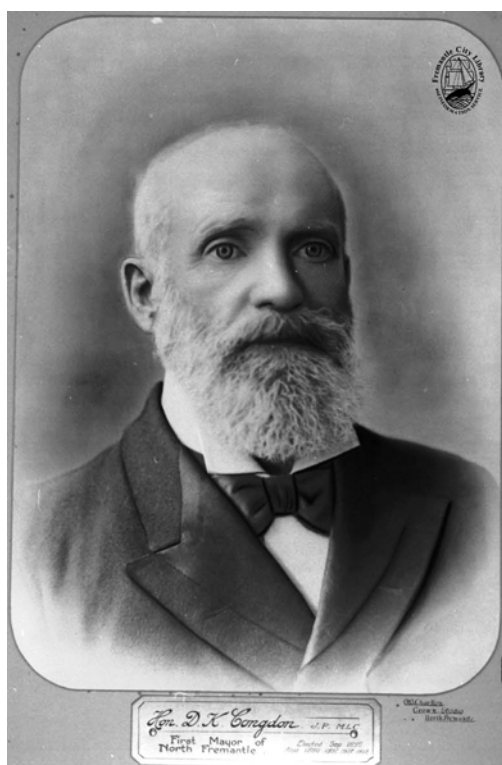


Figure 42 Daniel Congdon, 1903  
Courtesy of Fremantle Local History Library, image 1858

<sup>102</sup> Barker, David J. *Warders and gaolers: a dictionary of Western Australian prison officers, 1829-1879* WAGS, Bayswater, c.2000.

<sup>103</sup> Erikson, Rica [comp] *The Bicentennial dictionary of Western Australians pre 1829-1888*, UWA Press, 1979, Vol 1, p. 615.

<sup>104</sup> Black, David and Bolton, Geoffrey *Biographical Register of Members of the Parliament of Western Australia*, Western Australian Parliamentary History Project, Perth, 1990, p. 50.

### 2.15.2 Gilbert Fraser

Gilbert Fraser (1894-1958) was president of the North Fremantle Amateur Football Club for 27 years from 1932 to 1958. Fraser was a long term resident of North Fremantle and stood as the Labor candidate for the West Province of the MLC and held this office from 1928 to 1958. He held the position of Minister of Local Government within the Hon A.R.G. Hawke government from 1953 to 1958.

Gilbert Fraser was born in Bunbury on 22 July 1894. He was educated at the Marist Brothers College in Bendigo, Victoria and joined the service of the Postmaster Generals Department (PMG) at Eaglehawk in 1909. The following year he was transferred to Collie in Western Australia and later was employed at various offices until 1912 when he moved to Fremantle. He married Alice Williams in 1914 and they lived in North Fremantle as he continued his career within the PMG.

For three years, 1921 to 1924 Fraser was president of the Fremantle Trades Hall and was councillor of the North Fremantle Municipal Council.

He first entered parliament in 1928 for the Australian Labor Party as one of the members for the West province in the Legislative Council. From 1941 to 1945 during World War Two he was a telegraphist for the RAAF.

He held the office of Deputy Chairman of committees of the Legislative Council from 1936 to 1952, being appointed leader of the Labor Party in the Council in 1952.

Fraser was interested in many sports and held the position of President of the North Fremantle Cricket Club for some years in addition to his role at the North Fremantle Football club. He was made a life member of the North Fremantle Amateur Football Club in 1948 and the naming of the reserve in his honour was recognition of his dedication to the club.

He died of throat cancer in 1958 and due to this illness was given permission to use an amplifier in parliament in 1957 so that he could continue to represent his electorate.<sup>105</sup>



Figure 43 Gilbert Fraser, 1953  
Courtesy of *The Municipal and Road Gazette*.

<sup>105</sup> Black, David and Bolton, Geoffrey *Biographical Register of Members of the Parliament of Western Australia*, Western Australian Parliamentary History Project, Perth, 1990, p. 76. Pratt, op. cit., p. 37.

### 2.15.3 Les Charlton

Leslie Richard Charlton (7.12.1885-1.03.1953) was a schoolteacher at North Fremantle and later at East Fremantle and Fremantle Boys. On 25.03.1913 he married Ivy Cupit Johnson and they had two children, Leslie John and Betty. He served in World War I and was Mayor of North Fremantle from 1.11.1949 to 31.10.1951. He had an active role in the tennis club holding key positions including Secretary and President. In recognition of his contribution to the tennis club the gates to the club formerly located on Johannah Street were named in his honour. These gates were restored and relocated in the early 1990s to the current position on John Street.<sup>106</sup>



Figure 44 Les Charlton, 1952  
Courtesy of Fremantle Local History, image 1850.

### 2.15.4 Laurie Tetley

Laurence Arnold Tetley (1921-1994) was born in North Fremantle and spent his life working for his North Fremantle community with a special focus on football. He spent many years of dedicated service to the North Fremantle Amateur Football Club following his successful career as a player. The recognition of his contribution to the club was formally acknowledged in several ways the most prominent was in 1986 when the main entry gates to the Gilbert Fraser Reserve were named in his honour.<sup>107</sup>



Figure 45 Laurie Tetley  
Courtesy of Baden Pratt, The Maggies, p.5

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<sup>106</sup> Pratt, op. cit., p. 49.

<sup>107</sup> Pratt, op. cit., p. 66-67.

### **2.15.5 Thomas Charles Carlisle**

Tom Carlisle had a long standing association with the WA Fire Brigades Board. He became a member of the Association Executive in 1939 and then secured the position of Vice President for 7 years in 1943,44,45,47,49,51,52. He made a remarkable contribution to the Fire Brigades Board as President for 19 years firstly in 1948 and then in an unbroken period of 18 years from 1953 to 1970.

He oversaw the move of the Easter Championships from Fremantle Oval to the North Fremantle Oval. In recognition of his contribution to the WA Fire Brigades the timing stand was named in his honour.

### **2.15.6 Joseph Francis Allen**

The following is an excerpt from the online edition of the Australian Dictionary of Biography <http://www.adb.online.anu.edu.au> .

*ALLEN, JOSEPH FRANCIS (1869-1933), architect, civil engineer and politician, was born on 6 August 1869 at Mount Perranzabuloe, Cornwall, England, son of William Allen, carpenter, and his wife Salome, née Williams. When 10 he came to Parramatta, New South Wales, with his parents, and in 1884 was articled to the Sydney architect Gordon Mackinnon. He then worked for Rhodes & Co., civil engineers, and from 1894 managed the workshops of Henry Simon & Co., milling engineers. In 1896 he moved to Western Australia where, after working as an assistant engineer on the Fremantle harbour works, he commenced private practice in 1898. His works included the East Fremantle Town Hall, Fremantle Trades Hall and Geraldton flour mills, as well as the Westralian, the first steel ship built in Western Australia. On 25 September 1900 he married Jean Symington Buntine. The couple had one child Janet born in 1902. Jean died in 1912 aged 51.*

*In 1903 Allen won a seat on the East Fremantle Council and held it, but for one year, until his death. He served as mayor in 1909-14 and became property-owners' representative on the East Fremantle Tramways Board and a member of the board of the Fremantle Public Hospital.*

*After an unsuccessful attempt in 1912, Allen entered State parliament in 1914 as a Liberal member for the West Province of the Legislative Council. In 1913, he formed a partnership with architect Claude H. Nicholas and their offices were located in Fremantle.*

*In 1928 he became chairman of the Rottnest Island Board of which he was a foundation member in 1917, and in 1931 he was elected mayor of East Fremantle for the second time. He also held office in the Fremantle Municipal Tramways and Electric Lighting Board, Fremantle Chamber of Commerce (president in 1921-25 and 1933), the Royal Institute of Architects and the local Rotary club. Throughout his life in Western Australia he was active in Presbyterian and Masonic affairs. He died suddenly on 23 May 1933: his body was found in the Swan River near his home; the coroner found no suspicious circumstances. Survived by his daughter, he was buried in the Presbyterian section of the Fremantle cemetery.*

Joseph Allen and later Allen and Nicholas were responsible for a considerable body of work particularly in the Fremantle area. The following places are included in the State Register of Heritage Places.

- P980 Chamber of Commerce Building, Phillimore St Fremantle (1912)
- P3645 Great Southern Roller Flour Mill, Thompson Road North Fremantle (1922)
- P3959 Monument Hill and War Memorials (1929-1999)
- P1038 North Fremantle Town Hall (fmr), Queen Victoria Street, North Fremantle (1902)

- P789 Public Buildings East Fremantle, Canning Hwy East Fremantle (1899-1902)
- P1002 Sail and Anchor Hotel, South Tce Fremantle (1901-1903)
- P598 Wanslea, Railway Street Cottesloe (1905)
- P14896 Whatley Crescent Group, Maylands, (1902)<sup>108</sup>

Other places attributed to Allen or Allen & Nicholas included on the Heritage Council database are;

- P788 East Fremantle Town Hall, Canning Hwy East Fremantle (1899-1902)
- P503 Hamilton Hill Memorial hall and Honour Rolls, Rockingham Road Hamilton Hill (1925)
- P6128 Office and Laboratories, Thompson Road North Fremantle (1890-1915)
- P785 Salmon Gums Hotel, Moore Street Salmon Gums (1926/27)
- P970 Seppelts Warehouse, Pakenham Street Fremantle (1907)
- P864 Trades Hall (fmr), collie Street Fremantle (1904)

None of the above is constructed from timber therefore the Grandstand is the only known extant building associated with Joseph Allen which is primarily timber. The period of the early 1900s was when Allen was establishing his career and this relatively small project for the North Fremantle roads board demonstrates the type of municipal work he must have engaged in at that time.

Interestingly at the time of the construction of grandstand he was living in Richmond and may have been able to view the grandstand from across the river.

### **2.15.7 Ronald G Oldham**

Architect Ronald Gregory Oldham (1867-1937) was born in Victoria and moved to Western Australia before 1895.<sup>109</sup> His brother Charles Lancelot Oldham was a prominent architect who designed many significant buildings in Western Australia on his own and with partners; Herbert Eales and later Alfred Cox. Ronald Oldham appears to have had a smaller scale practice and worked on his own predominantly in Fremantle and the western suburbs of Perth.

Ronald Oldham married Jessie Arrol Rodger before coming to Western Australia and they had their first of three children in 1895 in Fremantle.

Ronald Oldham was a councillor for the Town of North Fremantle in 1902/03 and achieved the position of Mayor of North Fremantle in 1904. His practice was at 119 High Street Fremantle in 1903 and between 1912 and 1917 his office was at Market Street, Fremantle. In 1914, his residence was in Windsor Street, Claremont. Oldham was a member of the North Fremantle Cricket Club and was President of the North Fremantle Football Club.

His body of work was predominantly residential and small scale and includes the following properties;

1903	Hill Street, Fremantle
1904	Golden Street, West Perth

<sup>108</sup> Black, David *Australian Dictionary of Biography* online edition, <http://www.adb.online.anu.edu.au/biogs/A070046b.htm> accessed, 1 September 2009.

<sup>109</sup> Wises Post Office Directory, online edition from State Library of Western Australia, 1900 to 1903. [http://www.slwa.wa.gov.au/find/guides/wa\\_history/post\\_office\\_directories/](http://www.slwa.wa.gov.au/find/guides/wa_history/post_office_directories/) accessed 1 September 2009.

	Carlton Street, Leederville
	Ainslie Rd, North Fremantle
	Sewell Street, East Fremantle
	Canning Highway, Richmond
	George Street, Plympton
	Railway Street, Subiaco
1906	Hillside Avenue, Swanbourne
	Saladin Street, Claremont
	Irvine Street, Peppermint Grove
1908	Parry St, Claremont
	Mueller (Roberts) Rd, Subiaco
1910	Factory in North Fremantle
	Hillside and Parry Streets, Claremont
1914	Congdon Street, Cottesloe
	Windsor Street, Claremont
	Residential Shop, Cottesloe
	Three residences, South Fremantle
	Residence, North Perth
1915	Bulk Store, East Fremantle
	Shop, Cottesloe
	Additions to factory, Fremantle

There are four places associated with Oldham included on the Heritage Council of WA database of heritage places. They are as follows

Ainslie Road Precinct (2780), North Fremantle is a group of residences built in the period 1880 to 1904 associated with Ronald Oldham.

House (8178), 3 Windsor Street, Cottesloe was built in 1912 and was formerly owned by Oldham.

*Memorial Hall (3832)*, 12 Lochee Street, Mosman Park, designed by Oldham in 1912 but altered before construction. It is built of brick, iron and limestone and is in the interwar functionalist style.

Roberts Road Precinct, (16753) Subiaco. A group of single storey residences in the federation free classical style.

Of the above places only the Memorial Hall is included on the State Register of Heritage Places.

### **2.15.8 Sporting Clubs**

The clubs that have used the *Gilbert Fraser Reserve Precinct* in the past and today have all made a contribution to North Fremantle and the wider Western Australian community. The long association between the *Gilbert Fraser Reserve Precinct* and football and cricket is proven as these are the two sports played at the reserve since its creation.

Of significance is the North Fremantle Amateur Football Club, which has had an association with the *Gilbert Fraser Reserve Precinct* since 1921.

Other sports have had a significant impact on the development of the *Gilbert Fraser Reserve Precinct* including hockey, tennis, soccer and competitive cycling. The role of sporting groups in gathering the community together for sport and socialising cannot be underestimated especially in the early decades of the 20<sup>th</sup> century. These events were often one of the few entertainments for working people in North Fremantle.

The *Gilbert Fraser Reserve Precinct* continues to provide an important venue for sport for the community of North Fremantle and the broader metropolitan area including Notre Dame University, East Fremantle Junior Cricket Club, Fremantle Phantoms Veterans Football Club, the State Country Week Cricket Championships, the East Fremantle Tricolore Soccer Club, senior cricket club from Mosman Park and women soccer players from East Fremantle / Melville.

### **2.15.9 Community Groups**

Apart from its demonstrated association with sporting groups, the *Gilbert Fraser Reserve Precinct* has associations with several recognised community groups. FESA have been using the *Gilbert Fraser Reserve Precinct* as the venue for their annual competitions since 1967. The erection of the timing stand, toilet blocks and bituminising the track on the oval demonstrates FESA's commitment to the place. There are no plans to relocate FESA to any other venue in metropolitan Perth.

The community group 'Interchange' which used the former stables on the site in the 1990s as a venue for group sessions for disabled adults continues to have links with the place although they do not formally have any association. The links forged between the members of the group and the sporting groups who operate there have evolved into an informal supportive network for the former and current members of Interchange.

The adjacent community group APACE have a strong presence in the area and contribute to the community services, which are provided within the *Gilbert Fraser Reserve Precinct*.

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## **3.0 PHYSICAL EVIDENCE**

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The physical evidence is based on inspections undertaken in June, August, September and October 2009 by Hocking Planning and Architecture. At the time of inspections, only the grandstand and hall were accessible and inspected externally and internally. The gymnasium (currently accommodated within the former stables), W.A.F.B. Timing Stand, former caretaker's house and two toilet blocks were only inspected externally.

### **3.1 Current function of the place**

The *Gilbert Fraser Reserve Precinct* currently functions as a recreation reserve for several sporting groups. The organised sports on the sports held on the reserve include football, cricket and soccer. The reserve is also used for bi-annual competitions held by the Fire and Emergency Services Association and the North Fremantle Primary School use the oval for sporting activities. The *Gilbert Fraser Reserve Precinct* is a popular location for passive recreation for local residents and visitors from outside the district.

### **3.2 The site**

#### **3.2.1 General**

The site, identified as *Gilbert Fraser Reserve Precinct* in this report, is located in North Fremantle within the jurisdiction of the City of Fremantle. The site is situated towards the edge of a quiet residential area, bounded by John Street and Johannah Street (north and south west), the Swan River (south / south east) and residential properties to the north east of the reserve. Adjacent to the precinct, on the north-western side of John Street is North Fremantle Primary School and south-western side of Johannah Street is the Apace Nursery, a community based nursery cultivating native plants.

The precinct comprises of Reserve 9317, the adjacent lot 67 and the land between the reserve boundary and the Swan River, with a central grassed playing field / the oval. Cricket pitches and several buildings are located around the perimeter of the oval. The earliest buildings consist of a timber-framed grandstand adjacent to the John and Johannah Street main entrance and a single storey corrugated sheet metal clad building along Johannah Street, the former stables built in the early 20<sup>th</sup> century (partly reconstructed in later years and the gymnasium is currently accommodated within this building). Later buildings include a single storey rendered masonry hall to the east of the grandstand, a face brick and clay tiled caretaker's house with frontage on Johannah Street, a two-storey steel framed and rendered masonry timing stand with a bitumen paved running track on the eastern side of the oval and butterfly-roofed brick toilet blocks located on the south-western and north-eastern corners of the oval. Two memorial gates dedicated to Laurence Arnold Tetley and Leslie Richard Charlton, define the main entrance at the corner of John and Johannah Streets and the John Street entry into the reserve.

#### **3.2.2 Landscaping**

The site is marked by mature plantings including several large Norfolk Island Pines that have been identified as local landmarks over the years. For further description of existing vegetation, soft and hard landscaping on site, refer to the landscape heritage analysis prepared by Blackwell and Associates (Appendix J).

### **3.3 Grandstand**

#### **3.3.1 Exterior**

The two-storey timber framed weatherboard and corrugated sheet metal building is located in the south-western corner of the oval. The building is orientated along the north-south axis to allow full view of the playing field / oval.

The building consists of a gable hip roofed pavilion with timber tiered seating and change rooms are located below the pavilion on the ground floor level. Additional facilities including, toilets, physiotherapy rooms and storage are accommodated within a single storey skillion roofed and weatherboard addition along the entire length of the western elevation. An office with external access and storage room, accommodated within a single storey skillion roofed and weatherboard addition was further added to the south elevation.

The pavilion is simplistic, almost utilitarian but aesthetically pleasing in its design execution. Despite the loss of most its original timber detailing, such as carved timber balustrades and three staircases and significant changes to the main elevation and roof form, as seen in historical photographs, the overall appearance of the pavilion is still intact. There are very little documentary and archival records, specifically on the original design as well as subsequent changes and repairs to the grandstand.

The pavilion has a gable hip roof, with louvered gablets on the north and south ends and clad in corrugated sheet metal cladding in 'Custom Orb' profile. The main elevation (east elevation, facing the oval) is divided into four equal bays by a series of timber uprights and featured a central gable end with timber post and cross bracing detail. Located within the second and third bays are two flights of stairs, accessible from the oval, with timber treads and tubular steel framed chain link mesh balustrades. The unsympathetic and intrusive chain link mesh balustrades continue along the entire length of the grandstand.

Timber balustrades and timber-panelled fascias with simple cutout patterns, similar to the detail of the original balustrades as seen in historical photographs, are still evident on the north and south elevations of the grandstand. The existing timber roof structures are in relatively good condition with minor signs of wear and tear. Fixed and hung directly to the underside of the structures are a series of randomly spaced metal wires, perhaps to function as bird proofing. A rusted remnant of a decorative cast iron bracket is extant on one the west elevation.

At the time of inspection, the whole of the west elevation of the grandstand was undergoing repairs, initiated and funded by City of Fremantle as part of a maintenance and conservation program. The existing painted jarrah weatherboard cladding was badly damaged by termite activity and had to be replaced with new treated pine cladding. Termite affected sections of the original structural timber framing were also removed and replaced. Internal face of the west wall was relined with plywood sheeting up to dado height. This detail resulted in a narrow ledge, which appears to be inconsistent with the design of the pavilion, based on the arrangement of the structural frame and the lack of fixing holes on the existing framing that would suggest a lined internal face. The side walls of the pavilion remain unlined. It is understood that as part of this maintenance and conservation program, a termite barrier system was installed around the grandstand.

On the ground floor level, double hung sash window with plain timber architraves and external doors with matchboard timber doors and plain timber architraves are located mainly along on the east elevation. High level aluminium framed sliding windows with security grilles on the external face and two hot water units are located on the west elevation. The ground levels around the grandstand vary significantly as a direct result of the elevating and filling in of the oval and surrounding grassed areas over the years. The elevated earth mass is retained behind a random rubble limestone retaining wall. Part of the ground floor level is concealed when viewed from the oval. A concrete slab paved footpath with a flight of concrete steps to the oval level separates the grandstand from the retaining wall.

Existing weatherboard cladding show signs of deterioration and rot, with several missing and loose boards. This is evident particularly on the lower sections of the facades in close contact with pedestrian traffic and ground conditions. The existing timber roof structure and tiered seating of the grandstand are in relatively good condition, with minor wear and tear throughout due to consistent usage over the years.

### **3.3.2 Interior**

Primary entry into the ground floor level (change rooms) of the grandstand is located on the east elevation. There is a significant change in level between the footpath level and the interior on the ground floor level. The original change rooms consist of a series of three interconnecting rooms of differing sizes with toilet and shower facilities. Additional toilets, shower facilities, physiotherapy rooms are located to the west of the change rooms, separated by split levels and steps following the topography of the site. There is an office with adjoining storage room to the south of the change rooms.

The original timber structure consists of a grid of large square section timber columns and beams. The proportion and size of the change rooms are delineated along this grid. The rear row of columns is carried through the ceiling space, into the grandstand to support the roof structure above.

The existing ceiling is raked and lined with corrugated sheet metal. It is not clear if the ceiling was originally lined as the heads of the double hung sash windows on the east elevation are cut off and obscured by the existing ceiling. The change rooms have timber floorboards throughout. Painted corrugated sheet metal in the traditional 'Ripple' profile, timber benches, Timber dado with clothes hooks and timber battens to fix the wall lining to the structure appears to be original or of an earlier period. The wall lining is in relatively poor condition. Internal colour scheme within the change rooms is reflective of official black and white colours of the local football club, the 'Magpies'.

At the time of the inspection, the central and northern change rooms were undergoing refurbishment. The traditional 'Ripple' profiled corrugated sheet metal wall lining have been replaced with contemporary 'Zincalume' finished corrugated sheet metal in 'Custom Orb' profile. This larger corrugation profile has altered the scale and proportion of the relatively small rooms dramatically.

The west and south rooms are generally carpeted throughout with plasterboard lined ceilings and walls. There are no major structural defects apart from some areas of damp damaged ceilings. Toilets and wet areas are generally tiled and the fit-out kept to the bare minimum. Undulating falls in the shower areas have been noted. However, it is not known if this is intentionally designed or due to building defects or uneven ground conditions.



Figure 46 *View of the grandstand from oval.  
Hocking Planning and Architecture, August 2009.*



Figure 47 *View of the grandstand from John Street.  
Hocking Planning and Architecture, August 2009.*



*Figure 48* View of the grandstand (north elevation) prior to conservation work. At the time of inspection, the process of removing sections of termite affected jarrah weatherboard and structural timber were in progress.  
*Hocking Planning and Architecture, August 2009.*



*Figure 49* View of the grandstand (north elevation) after conservation work.  
*Courtesy of City of Fremantle Planning & Development, 2009*



*Figure 50 View of the ground floor level of the grandstand, sunken and concealed behind a limestone retaining wall as the ground level of the oval and surrounding grassed area were elevated over the years.  
Hocking Planning and Architecture, August 2009.*



*Figure 51 Timber detailing on the east elevation of the grandstand structure. Corrugated sheet metal roof seen below the pavilion is the southern addition, accommodating an office and storage room.  
Hocking Planning and Architecture, August 2009.*



*Figure 52* Detail of gable end on the east elevation.  
*Hocking Planning and Architecture, August 2009.*



*Figure 53* View detail of timber fascia boards with simple chevron and circle cut-out pattern on the, evident on the north and south elevations of the pavilion.  
*Hocking Planning and Architecture, August 2009.*



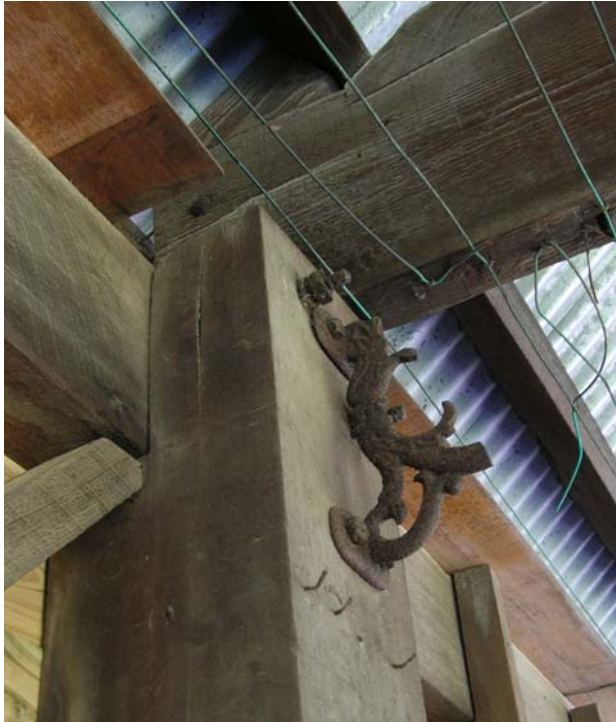
*Figure 54* View of the pavilion. The timber roof, columns and wall structures are in relatively good condition and wearing well. Plywood lining (unpainted) on the internal face of the west wall was put in place during a recent repair and conservation campaign. The lining was subsequently painted to match existing timber structure. *Hocking Planning and Architecture, August 2009.*



*Figure 55* Detail of plywood lining (during conservation work; unpainted) on the internal face of the west wall. This recent addition created a small 'ledge' along the length of the west wall which may pose future maintenance issues as nesting areas for bird pests. Hocking Planning and Architecture, August 2009.



*Figure 56* Detail of plywood lining (after conservation work) painted to match the rest of timber structure. Hocking Planning and Architecture, October 2009.



*Figure 57* Detail of remnant decorative cast iron bracket on the west wall.  
*Hocking Planning and Architecture, August 2009.*



*Figure 58* Detail of double hung sash window on the north elevation. Similar maintenance issues and damage to the window architraves and weatherboards are typically observed around the grandstand.  
*Hocking Planning and Architecture, August 2009.*



Figure 59 Interior view of the original change rooms below the pavilion. The structural columns carry through to support the roof structure above. Hocking Planning and Architecture, August 2009.



Figure 60 View of the central change room from the southern end change room. The original interiors including, sliding doors between rooms, wall lining and benches re largely intact. However, at the time of inspection, the traditional 'Ripple' corrugated sheet metal lining are being removed and replaced with 'Zincalume Custom Orb' which has larger corrugation profiles. This altered the proportion and general appearance of the original interiors significantly. Hocking Planning and Architecture, August 2009.



Figure 61 Interior view of the original change rooms. The original lining on the northern wall of this change room has been replaced with new 'Zincalume Custom Orb' wall lining. Hocking Planning and Architecture, August 2009.



Figure 62 East wall (facing the oval) of the central change room. note lined and raked ceiling, cutting off the head of an existing double hung sash window. It is possible that the ceilings in the change rooms were unlined originally and the full height of the window was accommodated. Hocking Planning and Architecture, August 2009.



Figure 63 Interior view of the northern end change room. All original wall lining on three elevations, apart from the western wall (as seen in image), have been replaced with 'Zincalume Custom Orb' wall lining.  
Hocking Planning and Architecture, August 2009.



Figure 64 View of toilet and shower rooms.  
Hocking Planning and Architecture, August 2009.



Figure 65 View of shower area.  
*Hocking Planning and Architecture, August 2009.*



Figure 66 View of office within the southern addition.  
*Hocking Planning and Architecture, August 2009.*



Figure 67 *View of one of the physiotherapy room within the western addition.  
Hocking Planning and Architecture, August 2009.*

### 3.4 Hall

#### 3.4.1 Exterior

The Hall, named as the 'Stan Whipp Hall', is a single storey rectilinear building with limestone foundations, gable roof and a skillion roofed verandah along the front (south east elevation) of the building. The front elevation is broken up by a centrally located gabled roof feature, which projects from the main roof. The simple timber post and cross bracing detail found on the gabled end of the grandstand is repeated on this projected section. Internal faces of this section immediately below the underside of the roof are lined with weatherboard cladding. There are two single storey gabled roof annexes located at the ends of the building. A narrow strip of land with sparse vegetation and sections of concrete slab separates the building from the John Street boundary, which is defined by a perimeter chain link mesh fencing of 1.8 meters high. There is a small external enclosed area, currently use as storage, located approximately min-length of the main building.

The building is of cavity brick wall construction with engaged piers, rendered and painted externally. Door and window openings are located between each pier. On the southeast elevation, painted flush panelled double doors are located between large aluminium framed sliding windows with fixed panels above and vertical iron grilles on the external. There is evidence of raising damp and drummy areas along the bottom section of the wall. On the north-west elevation is series of aluminium framed horizontal sliding windows.

Roofs over the main building, toilet annexes and verandah are clad in galvanised corrugated sheet metal roofing. Painted gutters in 'ogee' profile are fixed directly to the timber roof structure with gutter brackets. Gutters have rusted particularly where the various sections join and the sections are no longer supported by the worn out brackets. Circular downpipes are in similarly bad condition with most sections rusted. The downpipes are not clipped to the verandah columns and as a result most of the gutter pop connections have been

damaged and dislodged from original locations under the pressure of heavy storms. The verandah floor is of brick paving.

Generally, replacement of the existing roof plumbing system is required. The existing stormwater discharge system, sumps and soak wells need to be inspected. Several safety hazards have been identified, including unevenness of existing brick paving in the verandah area due to ground settlement and heavy traffic, sudden and unmarked changes in paving and ground levels and the stainless steel tubular handrail at the eastern end of the verandah which has not been secured to the paving but simply taped to the timber columns.

### **3.4.2 Interior**

The rectilinear plan of the clubroom is divided into two main sections, the main hall and the food and bar area, with a toilet annexe to the western end of the main hall and small kitchen, refrigeration and storage annexe to the eastern end of the food and bar area. The primary entry is located between the main hall and the bar.

The main hall has carpet around the perimeter of a small stage and timber dance floor and a series of exposed timber and steel trusses above. Walls are of rendered and painted below sill height and painted face brickwork above sill height. The ceiling is lined with plaster boards, just above the trusses. A series of large aluminium framed windows lined the south wall and horizontal aluminium framed sliding windows with aluminium venetian blinds line the north wall. Timber partitions on both ends of the stage conceal entries into the male and female toilets.

The club's historical mementos including honour rolls and framed photographs of former members decorated the walls between the windows and various plaques and trophies are displayed inside a glass display cabinet, the 'Laurie Tetley Memorial Cabinet' donated by the Life Members, which has been built into one of the three arches at the east end of the main hall.

The food / servery and bar area is divided into two smaller sections, the bar to the south side of the room and the food / servery counter which extends into the kitchen. This area has suspended ceiling throughout and recessed fluorescent lighting with diffuser panels placed randomly. The floors within the bar and food / servery counter are tiled with tessellated tiling. Timber floorboards from the main hall continue through this section.

Kitchen is contemporary with stainless steel bench top, under bench cupboards and general kitchen appliances including a freestanding stove and oven unit with exhaust above and freestanding fridge and freezer unit. The room is generally tiled, floor and walls up to dado height, just below a plaster moulded dado line which runs the perimeter of the room. An aluminium framed sliding window is centrally located on the east wall at the end of the kitchen. Adjacent to the kitchen, is the refrigeration room and storage.

Generally, the interior of the clubroom is well maintained with additions and refurbishment campaigns undertaken to meet the requirements of the various users and club members over the years. No significant structural or surface defects apart from an area of damp damaged ceiling between the arched entry into the main hall and the bar.



*Figure 68 View of the single storey hall –‘Stan Whipp Hall’ - from the oval.  
Hocking Planning and Architecture, August 2009.*



*Figure 69 View of toilet annexe, west elevation of the hall.  
Hocking Planning and Architecture, August 2009.*



Figure 70 *View of kitchen and storage annexe, east elevation of the hall.  
Hocking Planning and Architecture, August 2009.*



Figure 71 *Rear elevation of the hall, viewed from John Street.  
Hocking Planning and Architecture, August 2009*



Figure 72 Verandah, looking east.  
Hocking Planning and Architecture, August 2009.



Figure 73 Detail of existing window on the south elevation.  
Hocking Planning and Architecture, August 2009.



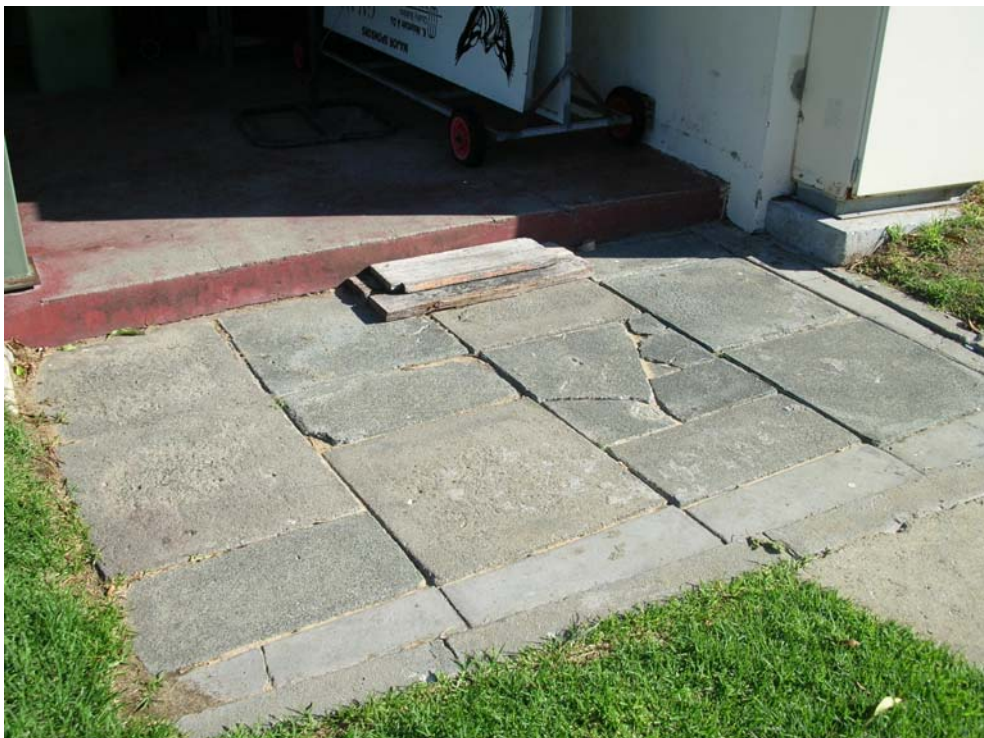
*Figure 74* Detail of rusted gutter and downpipe along roof above verandah.  
*Hocking Planning and Architecture, August 2009.*



*Figure 75* Detail of rusted gutter and downpipe on the main roof.  
*Hocking Planning and Architecture, August 2009.*



*Figure 76 Existing handrail on the eastern bay of the verandah poses a safety risk as the handrail is not secured to the ground.  
Hocking Planning and Architecture, August 2009.*



*Figure 77 Existing concrete slabs at the eastern end of the verandah. Cracked and uneven paving slabs are trip hazards.  
Hocking Planning and Architecture, August 2009.*



Figure 78 Interior view of the hall, looking west. The toilet annexe is located beyond the stage.  
Hocking Planning and Architecture, August 2009.



Figure 79 Interior view of hall, looking east. The food preparation and bar area is located beyond the arched openings.  
Hocking Planning and Architecture, August 2009



Figure 80 *Arched openings, between main space of the hall and food preparation and bar area. Hocking Planning and Architecture, August 2009*



Figure 81 *View of glass display cabinet, 'Laurie Tetley Memorial cabinet' donated by the Life Members, with club memorabilia and trophies on display. Hocking Planning and Architecture, August 2009*



Figure 82 View of bar.  
Hocking Planning and Architecture, August 2009



Figure 83 View of servery and food preparation area.  
Hocking Planning and Architecture, August 2009



Figure 84 View of kitchen.  
*Hocking Planning and Architecture, August 2009*

### 3.5 Gymnasium (former stables)

The gymnasium is accommodated within the former stable; a single storey rectilinear timber framed and corrugated sheet metal clad building with a brick paved verandah extending the full length of the building. The painted sheet metal cladding is generally in very poor condition and heavily rusted, particularly in areas beneath the eaves and along the bottom section of the walls. Remanent gutters in 'ogee' profile and downpipes along the verandah have rusted out. On the south-eastern corner of the building are an old, well-used scoreboard and a series of number boards.

The basic plan of the building is divided into three rooms, based on external observation and configuration of the door openings. Original timber framed door openings with matchboard doors and timber signages identifying the former use are still evident. Looking through an unglazed window opening, the interior of the north-western room has timber wainscotting up to dado height, with a moulded timber dado. Above the dado, the walls have been clad with corrugated sheet metal in 'Mini Orb' profile, fixed horizontally to the original timber framing. Contemporary gym equipment has been placed around the small room.

At the time of inspection, the interiors of all rooms were not accessible.



*Figure 85* View of former stable from the oval.  
*Hocking Planning and Architecture, August 2009*



*Figure 86* View of former stable from Johannah Street  
*Hocking Planning and Architecture, August 2009*



Figure 87 View of the former stable and brick paved verandah.  
Hocking Planning and Architecture, August 2009



Figure 88 Scoreboard and number boards.  
Hocking Planning and Architecture, August 2009



Figure 89 *Detail of heavily rusted corrugated sheet metal roof above the verandah.  
Hocking Planning and Architecture, August 2009*



Figure 90 *Extant timber matchboard door and signage identifying the former stables.  
Hocking Planning and Architecture, August 2009*



Figure 91 *Extant timber matchboard door.  
Hocking Planning and Architecture, August 2009*



Figure 92 *Interior view of the south-western room, with timber wainscoting and corrugated sheet metal cladding above dado.  
Hocking Planning and Architecture, August 2009*

### 3.6 W.A.F.B. Timing Stand

The building, dedicated to Thomas Charles Carlisle, is two-storey rendered masonry with steel framing and a flat roof construction. A flight of steel staircase to the upper level is located externally on the north-east elevation. Large openings with built in steel roller shutters and servery bench tops are located on the north-west elevation, facing the oval.



Figure 93 Exterior view of the W.A.F.B. timing stand.  
*Hocking Planning and Architecture, August 2009*



Figure 94 View of the W.A.F.B. running track and timing stand.  
*Hocking Planning and Architecture, August 2009*

### 3.7 Main Entrance (Laurie Tetley Gates)

The primary entrance of the reserve at the corner of Johannah Street and John Street is marked by a series of face brick pillars with a central painted steel double gates and flanking painted steel side gates. The entry is identified as the 'Laurie Tetley Gates' to commemorate Laurence Arnold Tetley. The brick pillars are in relatively good condition. Steel gates show minor signs of rust in some areas.

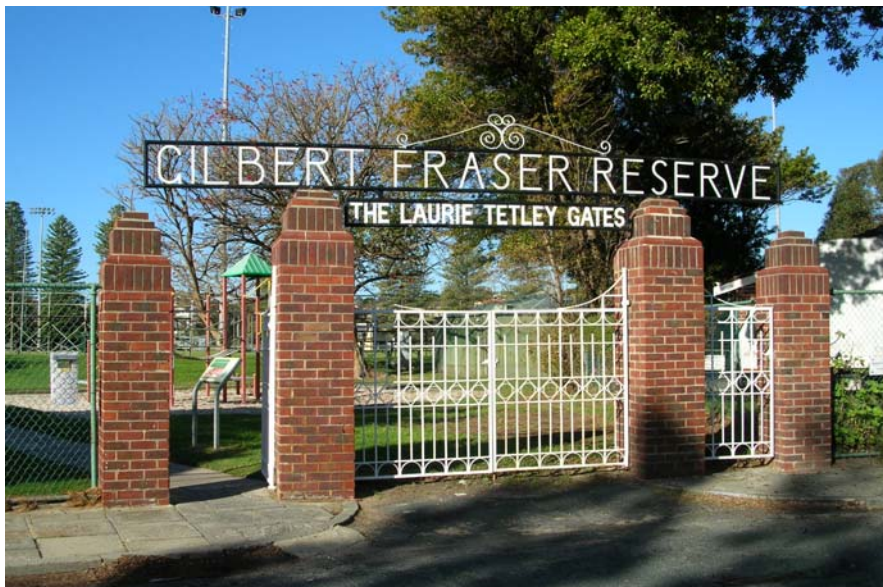


Figure 95 *Laurie Tetley Gates, primary entrance at the corner of Johannah and John Streets. Hocking Planning and Architecture, August 2009*

### 3.8 L.R. (Les) Charlton Memorial Gate

The memorial gate, relocated to its current location in the early 1990s, comprises of paired pillars of local rubble stone, painted steel gates and rubble limestone walls, mark the John Street entrance of the reserve. An informal footpath from this entry led to the brick paved verandah of the clubroom. Mortar joints between the rubble limestone have eroded away to a considerable degree.



Figure 96 *The Les Charlton Memorial Gate, on John Street. Hocking Planning and Architecture, August 2009*

### 3.9 Caretaker's House

The caretaker's house is located on the south west perimeter of the site, adjacent to the Laurie Tetley Gates and car park. The house is single storey; with clay tiled roof and cavity face brick construction with frontage onto Johannah Street. The building was not inspected internally.



Figure 97 *Former caretaker's house, viewed from Johannah Street.  
Hocking Planning and Architecture, September 2009*

### 3.10 APACE Nursery

The nursery is located on the southern side of Johannah Street, adjacent to Part Reserve 36420 bordering the Swan River. On the site is a 1892 single storey limestone with brick quins and corrugated iron cottage with a verandah across the front elevation, Winter House. The APACE organisation, founded in 1983 nursery to promote appropriate, environmentally sustainable technology and development. Currently the site is use as a community based revegetation nursery, revegetation service dedicated to the cultivation of native plant species.



Figure 98 View of 'Winter House' and APACE nursery, viewed from Johannah Street. Hocking Planning and Architecture, September 2009

### **3.11 Other structures on site**

#### **3.11.1 Water tank**

The circular concrete water tank is nestled within small plantings, to the rear of the caretaker's house. Based on documentary evidence, the tank was installed in 1998, extracting fresh water from a shallow bore to reticulate the playing field.

#### **3.11.2 Public toilets**

The face brick structures with concrete butterfly roof are in the south-western and north-eastern corners of the site. The design is typical of similar structures built by the local council during the 1970s.

#### **3.11.3 Play grounds**

Two sandpits with contemporary playground equipment are located adjacent to the main entry, Laurie Tetley Gates. The equipment is generally in fair condition, with some wear and tear and discolouration of the powder coated finish.



*Figure 99* View of the northeastern toilet block.  
*Hocking Planning and Architecture, August 2009*



*Figure 100* View of the southwestern toilet block and play equipment in the foreground.  
*Hocking Planning and Architecture, August 2009*



*Figure 101 View of the water tank, south-western toilet block and play equipment in the foreground.  
Hocking Planning and Architecture, August 2009*

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## 4.0 ANALYSIS OF EVIDENCE

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### 4.1 Sequence of Development

1895	Creation of Reserve
1898	Fencing of Reserve and preparation of playing fields and cycle track
1901	Construction of the Grandstand
1920s	Raising of the level of the playing field and construction of timber buildings for the tennis club Modification of grandstand roof
1933	Construction of new toilets at the rear of the grandstand
1954	Construction of first stage of clubrooms (now the bar)
c. 1963	Construction of the Gilbert Fraser Gates
1960s	Construction of toilet block on south side of oval
1970s	Construction of the toilet block near the main entrance
1980s	Additions to the hall and construction of playground
1986	Construction of the Laurie Tetley Gates
1987	Reticulation pipes laid in the oval
1990s	Construction of the Les Charlton Gates
2000s	Installation of flood lighting

### 4.2 Comparative Analysis - Function

The *Gilbert Fraser Reserve Precinct* is comparable to other local government recreation reserves with service buildings that have been constructed over an extensive period.

The buildings or facilities have generally been built at times of economic growth and prosperity. Many older metropolitan suburbs of Perth have recreational facilities for their community built during the gold boom period. Since their original formation many of the local reserves have been altered considerably with old structures removed and new ones added. The evolution of public recreation sites demonstrates the changing emphasis of different sports and the population of the surrounding districts. Comparable reserves noted in the HCWA database of heritage places include the Fremantle Oval (RHP15464), Bassendean Oval (RHP 7403), Subiaco Oval (RHP 11923) and Perth Oval (RHP 2992).

These ovals represent the change in the type of recreation offered in metropolitan Perth during the 20<sup>th</sup> century. These reserves often have sporting groups, especially football and cricket that have long associations with the particular grounds. Grandstands and change rooms were standard features of these recreation reserves however the grandstands have in many cases been upgraded or demolished. The centralisation of specific sports and the increasing diversity of sports and recreation pursuits have meant that the local recreation

reserves are not so widely patronised by spectators even if the facilities are well used by participants.

### 4.3 Comparative Analysis - Grandstand

Although there are several buildings on the site which demonstrate an ongoing and strong association between the place and several groups only the grandstand was considered of enough architectural merit and interest to warrant further comparative research.

The HCWA database of places was searched using several criteria including the term grandstand or pavilion and timber buildings associated with sport. The following four places are included on the State Register of Heritage Places

#### Victoria Pavilion (RHP874)

Built in 1897 to a design by architect F. W. Burwell in the Federation Filigree style. This brick, timber and iron grandstand is located at the Fremantle oval and is still in use today. There are rooms under the grandstand, which are used by the South Fremantle and Dockers Football club, which have the Fremantle Oval as their home ground.



Figure 102 *Victoria Pavilion, 1990*  
*Courtesy of Heritage Council of Western Australia*

#### Kalgoorlie Racecourse and Buildings (RHP1326)

Built in 1896 of brick, timber and iron to a design by architects Porter and Thomas. The grandstand is one of a complex of buildings on the site for the Kalgoorlie racecourse. It continues to be used today by the Kalgoorlie community and has been a significant element in the development of horseracing in regional Western Australia.



Figure 103 *Kalgoorlie Main Grandstand, 1994*  
*Courtesy of Heritage Council of Western Australia*

### Bassendean Oval (RHP7403)

The Bassendean Oval has two timber grandstands, which date from the 1930s (R A. McDonald Stand and the Bill Walker Stand). These timber grandstands are included within a larger complex of buildings and features that form the Bassendean Oval, which is included in the State Register of Heritage Places. The three-storey timber and corrugated iron Bill Walker Stand was built in 1932 and was known at that time as the Bassendean Grandstand. In 1938, architects Powell, Cameron and Chisholm designed a larger grandstand and it was named in honour of Richard A. McDonald who instigated of the establishment of the Bassendean Oval and was the inaugural president of the Swan Districts Football club. These two stands although much larger and built in a different design to the *Gilbert Fraser Reserve Precinct* grandstand do have a similar strong association with sport and particularly football in their own district. Both structures demonstrate the Inter war Utilitarian style.



Figure 104 *Bill Walker Stand, Bassendean*  
*Courtesy of Swan Districts Football Club*

### Royal Kings Park Tennis Club (RHP3801)

This complex has two grandstands on the site. The Members Stand (1926) and the McGibbon Stand (1935) they are unusual depictions of the Cape Dutch and Beaux Arts Style of architecture in Western Australia constructed in brick and tile. The scale of these two grandstands and their longevity of use are comparable to the Gilbert Fraser Reserve Grandstand although they are much more elaborate in the style and detail.



Figure 105 *Royal Kings Park Tennis Club Grandstand*  
*Courtesy of AHC*

Of the places in the HCWA database not on the State Register the following are considered to be most directly comparable in age, form, materials or use.

Manners Hill Park Pavilion (RHP1928)

This timber and iron pavilion in Peppermint Grove was built in 1904 to a design attributed to John Joseph Talbot Hobbs. This simple structure is open on two sides and has a timber lattice frieze below the roofline.

Ascot Racecourse Complex (RHP6123)

The Ascot Racecourse is a large complex, which dates from 1853. Within the complex is a large grandstand that was originally constructed in 1903 and significantly modified and added to in 1969. There are elements of the original structure remaining in the grandstand including the Victorian cast iron columns and two levels of interior space; the ground floor and the first floor behind and underneath the tiered seating.



Figure 106 *Ascot Grandstand (1969) incorporating 1903 grandstand*  
*Courtesy of Wikipedia.*

#### Grandstand (showground), Trayning (RHP2592)

Built in 1923 is a large timber framed structure with a skillion corrugated iron roof. The walls of the building, clad with horizontal weatherboards and some fibro sheeting, are painted cream. The roof is supported on several large stop chamfered timber posts. Steps lead up both sides of the viewing area. Although no images were found of this structure the description suggests that it has a similarity of form and materials to the *Gilbert Fraser Reserve Precinct Grandstand*.

#### **4.4 Comparative Analysis - Architect**

The places on the HCWA database which have been attributed to Ronald G Oldham include the following.

*Memorial Hall (3832)*, 12 Lochee Street, Mosman Park, designed by Oldham in 1912 but altered before construction. It is built of brick, iron and limestone and is in the interwar functionalist style.

Other places attributed to Ronald Oldham included on the Heritage Council database are;

*Ainslie Road Precinct (2780)*, North Fremantle is a group of residences built in the period 1880 to 1904 associated with Ronald Oldham.

*House (8178)*, 3 Windsor Street, Cottesloe, built in 1912 and formerly owned by Oldham.

*Roberts Road Precinct, (16753)* Subiaco. A group of single storey residences in the federation free classical style.

None of the above is constructed from timber therefore the Grandstand is the only known timber building associated with Ronald Oldham.

Oldham appears to have worked predominantly in the residential area and frequently in the North Fremantle, area where he lived for some time and was active in local politics. His association with the grandstand through his membership of the cricket and football clubs is likely to have made this a very personal project.

#### **4.5 Summary**

The grandstand located on the *Gilbert Fraser Reserve Precinct* is found to be a relatively rare example of a timber grandstand from the early 20<sup>th</sup> century. Within the metropolitan area the most readily comparable example is the Fremantle Oval grandstand (the Victoria pavilion) or the Bill Walker Grandstand at Bassendean Oval. The continuity of use of these two grandstands, the architectural style and their use as a grandstand and change rooms is particularly comparable to the *Gilbert Fraser Reserve Precinct Grandstand* although the scale, materials and detail of construction differ.

The precinct is a good example of a metropolitan sporting facility, which caters for several sports. It is relatively unusual in the metropolitan area, as it has been continuously used since its establishment in 1895. The community commitment to the precinct appears to be strong especially given that the area had a modest number of residential occupants during the majority of the 20<sup>th</sup> century.

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## 5.0 ASSESSMENT OF SIGNIFICANCE

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The criteria adopted by the Heritage Council in November 1996 have been used to determine the cultural heritage significance of the place. The numbers in brackets represent the specific criteria that apply. The significance of the *Gilbert Fraser Reserve Precinct* resides in the physical fabric of the buildings and the form of the site, and its aesthetic, historic and social value.

The cultural heritage significance of the grandstand is tied to the significance of the *Gilbert Fraser Reserve Precinct*. Whilst the grandstand exhibits specific values which are detailed below its fundamental significance lies in its association with the *Gilbert Fraser Reserve Precinct*.

### 5.1 Aesthetic Significance

The grandstand, comprising of the gable hip roofed, timber framed and weatherboard clad pavilion structure with change rooms on the ground floor level, represents a simplistic, utilitarian and aesthetically pleasing early 20<sup>th</sup> century building. Despite the loss of most its original timber detailing, such as carved timber balustrades and timber staircases, the original design is still discernible. (Criterion 1.1)

The precinct is one of the few large areas of public open space in North Fremantle in contrast to the dominant high density of the surrounding urban area. This aspect makes it valued by the community for its contribution to the streetscape and its landmark quality. (Criterion 1.3 & Criterion 1.4)

The group of pine trees on the foreshore side of the precinct are of value as a landmark in the district and to those areas across the Swan River. (Criterion 1.3)

### 5.2 Historic Significance

The collection of built structures at the *Gilbert Fraser Reserve Precinct* demonstrates the evolution of sport and community activities in North Fremantle and the broader metropolitan area. The grandstand is an example of facilities provided in the early 20<sup>th</sup> century and the later hall, gymnasium and toilet blocks illustrate the type of facilities now required at community venues. (Criterion 2.1)

The *Gilbert Fraser Reserve Precinct* is associated with the establishment of the district and the formation of the independent municipality of North Fremantle. The creation of a designated reserve for community activity indicates a confidence in the future of North Fremantle. (Criterion 2.2)

The grandstand was one of the early works of architect Ronald Oldham who made a significant contribution to the North Fremantle community through his role on the North Fremantle councillor and as a supporter of the local sporting groups. (Criterion 2.3)

The place is closely associated with several individuals who made significant contributions to the community of North Fremantle and others whose influence and contributions have been more widespread. Hon Gilbert Fraser MLC represented his community as a Member of Parliament and was President of the North Fremantle Football club; Laurie Tetley a dedicated worker for the North Fremantle community and the North Fremantle Football Club; Les Charlton member of the local government authority and administrator for the North

Fremantle Tennis Club and Thomas Charles Carlisle long term President of the WA Fire Brigades Board the precursor to FESA. (Criterion 2.3)

### **5.3 Scientific Significance**

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### **5.4 Social Significance**

*Gilbert Fraser Reserve Precinct* is closely associated with the development of the North Fremantle district. The establishment of the reserve shortly after the formation of the local government authority demonstrates that organised sport was considered a vital element for the new residential community in the early 20<sup>th</sup> century. The place has continued to provide a venue for organised and informal sporting activities since its creation. (Criterion 4.1)

The *Gilbert Fraser Reserve Precinct* is valued by the residents of North Fremantle as it has provided an important venue in bringing the community together. The North Fremantle Amateur Football Club formed in 1921 but with origins in the 1890s provided a sense of identity and community for many residents during the early 20<sup>th</sup> century and the club today has strong links beyond the North Fremantle district. The other groups which use the playing fields and the facilities bring people to the district making the place recognised beyond the greater Fremantle area. (Criterion 4.1)

The *Gilbert Fraser Reserve Precinct* contributes to the community's sense of place through its longevity of function since the late 19<sup>th</sup> century. (Criterion 4.2)

### **Degree of Significance**

#### **5.5 Rarity**

The grandstand is one of the few examples of a simple timber grandstand originally built in the early 1900s.

The *Gilbert Fraser Reserve Precinct* is one of the few sporting venues to retain two early buildings relatively unchanged. The grandstand and the former stables were constructed in the early 20<sup>th</sup> century and although modified since, their original form is still readily discernable.

#### **5.6 Representativeness**

The *Gilbert Fraser Reserve Precinct* is a good example of a community recreation facility that has evolved from a controlled sporting venue of the late 19<sup>th</sup> century to a multi purpose venue that caters for a range of organised sports and for informal recreation.

The grandstand is a good example of a timber grandstand from the early 20<sup>th</sup> century.

#### **5.7 Condition**

The sporting venue and associated buildings and sporting facilities are generally maintained and continuously in use.

The grandstand is in fair condition. Existing timber structures are in relatively good condition, with minor wear and tear throughout due to consistent usage over the years. Weatherboard cladding, particularly on the lower sections of the facades in close contact with pedestrian traffic and ground conditions, show signs of deterioration and rot, with several missing and loose boards. In the recent maintenance and conservation campaign, the whole of the west wall of the grandstand was replaced with new painted and treated pine weatherboard

cladding. A termite barrier system was also installed around the grandstand. Internally, the removal of traditional 'Ripple' corrugated sheet metal wall lining and replacing with contemporary sheet metal lining with a larger corrugation is inconsistent with the original design intent. The scale and proportion of the original change rooms have been altered significantly. It is recommended for a comprehensive and consistent approach to ongoing and future refurbishment and maintenance program to retain the heritage significance and authenticity of the original cladding and timber detailing of the grandstand.

The external sheet metal cladding of the gymnasium (former stables) is in very poor condition and heavily rusted, particularly in areas beneath the eaves and along the bottom section of the walls. Similar to the interiors of the grandstand, replacement of the external cladding and roofing with traditional 'Ripple' or its contemporary, 'Mini Orb' profile, is recommended.

Generally for all buildings on site, replacement of the existing roof plumbing system is required. The existing stormwater discharge system, sumps and soak wells need to be inspected. Several safety hazards have been identified, including unevenness of existing brick paving in the verandah areas due to ground settlement and heavy traffic, sudden and unmarked changes in paving and ground levels, the lack of guide rails, compliant ramps and stairs particularly where the ground level undulates significantly.

## **5.8 Integrity**

The *Gilbert Fraser Reserve Precinct* is one of the few sporting venues to retain two early buildings relatively unchanged and the layout of the original reserve is relatively intact, despite the various changes to sporting facilities over the years. The integrity of the Precinct as a local and community oriented sporting venue is high.

The grandstand, one of the two earlier period buildings on site, is relatively intact and its original design intent is still readily discernable, despite the loss of some significant timber detailing around the pavilion. The integrity of the grandstand to be restored and reconstructed close to the original design is high.

The form of the former stable, currently use as a gymnasium, is intact although further investigations is required to determine the stability of its primary structures. Its former use has been disregarded and no longer applicable to the current site facilities. Its interiors have been modified to suit the various uses (based on the only room inspected from outside an unglazed window due to lack of access). The integrity of the former stables is low to medium.

## **5.9 Authenticity**

Based on the current and ongoing use of the *Gilbert Fraser Reserve Precinct* as a local and community oriented sporting venue since the day it was established, the precinct has retain a medium to high level of authenticity. Over the years, additional buildings associated with the use of the place were added and the two earlier buildings on site, the grandstand and former stables were able to be retained and continuously used.

Two separate single storey additions to accommodate additional toilet and shower rooms, physiotherapy rooms, an office and storage rooms, have been added to the original grandstand. The original design and layout of the grandstand, the pavilion and change rooms, is still readily discernable. Original details and cladding have been replaced to a certain extent and in general the replacement material was consistent with the original detail despite the use of slightly different material i.e. treated pine weatherboards instead of jarrah weatherboard. However, the plywood lining, painted to match existing jarrah timbers, is inconsistent to the original unlined internal face of the pavilion. The interiors of the change

rooms are at risk of being significantly altered with the replacement of traditional 'Ripple' wall lining with unsympathetic 'Custom Orb' wall lining.

The authenticity of the grandstand, in general, is moderate to high.

## 6.0 CULTURAL HERITAGE SIGNIFICANCE

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### 6.1 Statement of Significance

*Gilbert Fraser Reserve Precinct* is an area of public recreation located on the foreshore in North Fremantle that consists of a grassed public open space; mature plantings and low shrubs; a timber grandstand with a corrugated iron roof (1910); former stables of timber and iron (1920s); brick and iron hall (1954; 1957, 1980s); two brick and iron toilet blocks (1960s) and two storey timber timing stand (1966). The place has cultural heritage significance for the following reasons;

*Gilbert Fraser Reserve Precinct* is an area of public recreation and sporting venue located on the foreshore in North Fremantle that consists of a grassed oval / playing field; mature plantings and low shrubs; a timber grandstand with a corrugated iron roof (1910); former stables of timber and iron (1920s); brick and iron hall (1954; 1957, 1980s); two brick and iron toilet blocks (1960s) and a two storey timber timing stand (1966). The place has cultural heritage significance for the following reasons;

the collection of built structures at the *Gilbert Fraser Reserve Precinct* demonstrates the evolution of sport and community activities in North Fremantle from a controlled sporting venue of the late 19th century to a multipurpose venue that caters for a range of organised sports and informal recreation.;

the grandstand is one of the few examples of a simple timber grandstand originally built in 1910 which is in good condition despite the loss of most its original timber detailing, including carved timber balustrades and timber staircases. The simplistic, utilitarian and aesthetically pleasing design is still discernible;

the place is a landmark in the North Fremantle district and to adjacent areas because of its distinctive pine trees which are located on the foreshore boundary;

the *Gilbert Fraser Reserve Precinct* is associated with the establishment of the district and the formation of the independent municipality of North Fremantle;

the place is closely associated with several individuals who made significant contributions to North Fremantle and the wider community; including Hon Gilbert Fraser MLC represented his community as a Member of Parliament and was President of the North Fremantle Football club; Laurie Tetley a dedicated worker for the North Fremantle community and the North Fremantle Football Club; Les Charlton member of the local government authority and administrator for the North Fremantle Tennis Club and Thomas Charles Carlisle long term President of the WA Fire Brigades Board the precursor to FESA, and;

the grandstand was one of the early works of architect Ronald Oldham who made a significant contribution to the North Fremantle community through his role on the North Fremantle councillor and as a supporter of the local sporting groups.

The former caretaker's house, two toilet blocks, the water tank and the children's playground are considered to be of little or no significance.

## **6.2 Graded Zones and Elements of Significance**

In identifying the zones and elements of significance in *Gilbert Fraser Reserve Precinct*, the levels of classifications and definitions outlined in Heritage Council of Western Australia 'A Standard Brief for Consultants' have been adopted. The grandstand has been individually assessed because of its rarity and its level of significance within the whole site.

### **6.2.1 Zones and Elements of Exceptional Significance**

There are no zones or elements, externally or internally, of the place that is identified under this level of classification.

### **6.2.2 Zones and Elements of Considerable Significance**

The significant fabric of such places or elements should be preserved, restored or reconstructed as appropriate. Reconstruction is desirable provided sufficient detailed information is available. Adaptation is acceptable to the extent of installing reversible small fixtures, services and partitions, provided this does not affect any external or internal fabric which is of exceptional or considerable significance. No significant fabric should be removed or action taken to confuse the sense of the space. Structural adaptation is generally unacceptable. However, minor structural adaptation may be considered if it is in keeping with the overall aims of the conservation policy and has minimal impact on the significant fabric. Any alterations to the building fabric should be documented.

Landscape elements should not be removed without due consideration of their heritage values. Where removal of significant trees is necessary due to their condition, replacement plantings of the same species should be made.

There should be no new works in open space areas which will adversely affect the setting of the building or obscure important views to and from the site.

The following zones and elements identified under this level of classification are as below:

- Whole site including Reserve 9317, lot 67 and part reserve 36420 between the reserve boundary and the Swan River;
- Grandstand;
- Elements within the grandstand, which are of considerable significance:
  - Timber structure;
  - Timber cladding;
  - Original doors and windows;
  - Floorboards and seating in grandstand;
  - Timber detailing below the roof on the north and south elevations;
- Norfolk Island pines adjacent to foreshore boundary;
- Oval / grassed playing field.

### **6.2.3 Zones and Elements of Some Significance**

The significant fabric of such places or elements should be preserved, restored or reconstructed as appropriate. Adaptation is acceptable to the extent of installing reversible small fixtures, services and partitions, provided this does not affect any external or internal

appearance of the building. Discreet structural additions and openings can be made. New or different finishes are acceptable, provided these do not obscure or damage important evidence of significant materials and finishes. Any alterations to the building fabric should be documented.

Landscape elements should not be removed without due consideration of their heritage values. Where removal of significant trees is necessary due to their condition, replacement plantings of the same species should be made.

There should be no new building works in open space areas, which will adversely affect the setting of the building or obscure important views into and out of the site.

The following zones and elements identified under this level of classification are as below

- Hall
- Gymnasium (former stables)
- T C Carlisle Timing stand
- FESA training track
- Laurie Tetley Gates
- Les Charlton Entrance Gates
- Elements within the grandstand, which are of some significance:
  - Existing timber stairs to pavilion;
  - The whole of the western addition which accommodate the umpire's office, physiotherapy, toilets and showers;
  - The whole of the southern addition which accommodate the office and storage room;
  - Roof cladding and timber detail below the roof line on the east elevation

#### **6.2.4 Zones of Little or No Significance**

The significant fabric of such spaces or elements should be preserved, restored or reconstructed as appropriate. Adaptation is acceptable to the extent of installing fixtures, services and reversible partitions provided this does not affect the significant external and internal appearance of the building. Discreet structural additions and openings can be made. New or different finishes are acceptable, provided these do not obscure or damage important evidence of significant materials and finishes. Any alterations to the building fabric should be documented.

Landscape elements should not be removed without due consideration of their heritage values. Where removal of significant trees is necessary due to their condition, appropriate replacement planting should be made.

There should be no new building work in open space areas, which will adversely affect the setting of the building or obscure important views into and out of the site.

The following zones and elements identified under this level of classification are as below:

- Former caretakers house;
- Toilets and store room adjacent to the foreshore;
- Toilets adjacent to John Street;
- Playgrounds;
- Cricket nets;
- Elements within the grandstand, which are of little significance:
  - Interior fit out of the western addition including umpire's office, physiotherapy, toilets and showers;

- Interior fit out of the southern addition including the office and storage room.

### **6.2.5 Intrusive Zones and Elements**

Intrusive spaces or elements have been identified, as detracting from the significance of the place and their removal and/or replacement with more appropriate detailing, should be encouraged. Their removal needs to be assessed against other considerations, such as function and economics, before implementation. Before removal/demolition ensure that the comprehensive photographic and graphic recording is completed.

The following elements identified under this level of classification are as below:

- Water tank;
- Elements within the grandstand, which are intrusive:
  - Chain link mesh balustrades along east elevation and balustrades on existing stairs;
  - Plywood lining and small ledge to internal face of the west elevation;
  - 'Zincalume Custom Orb' sheet metal cladding in the changerooms.

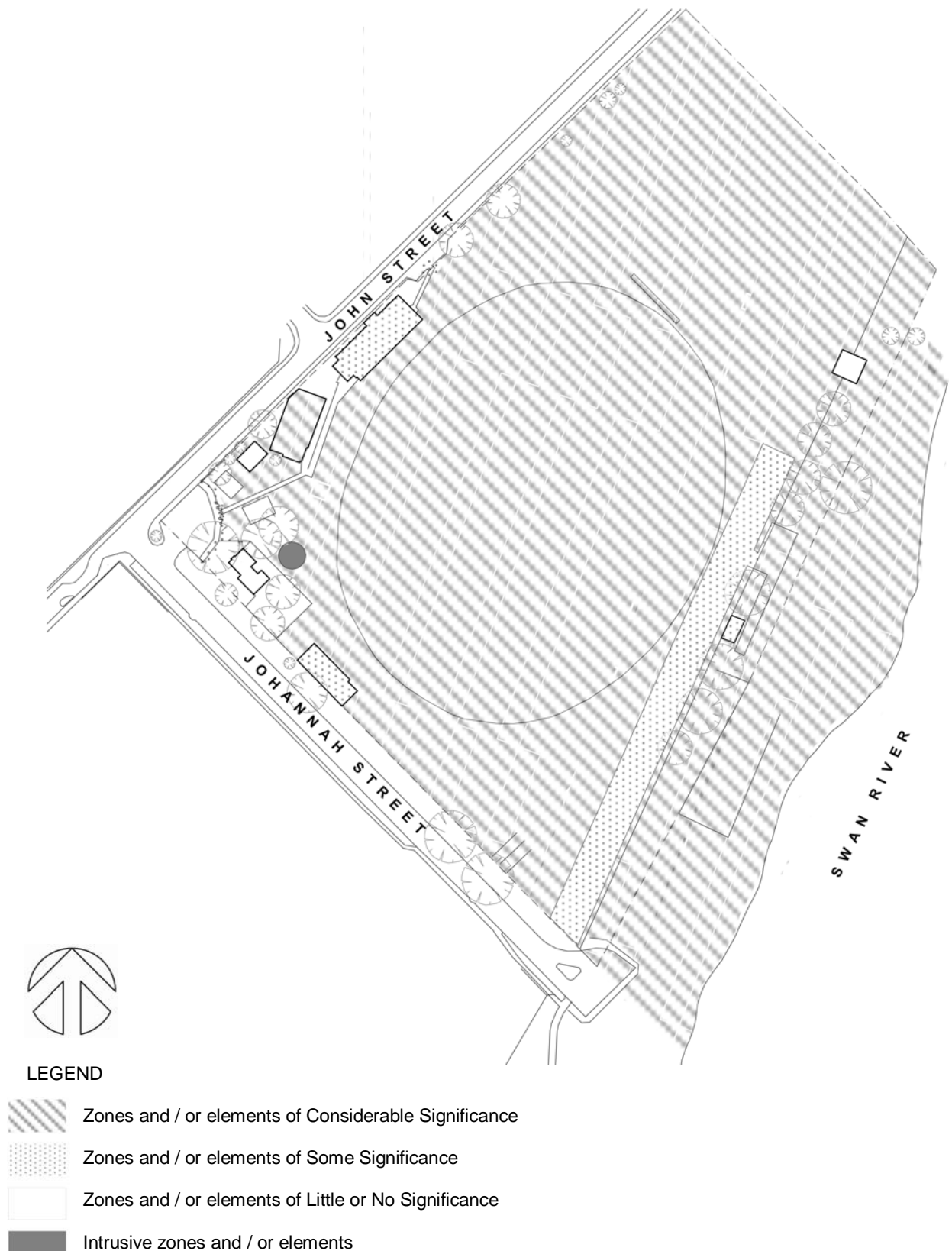
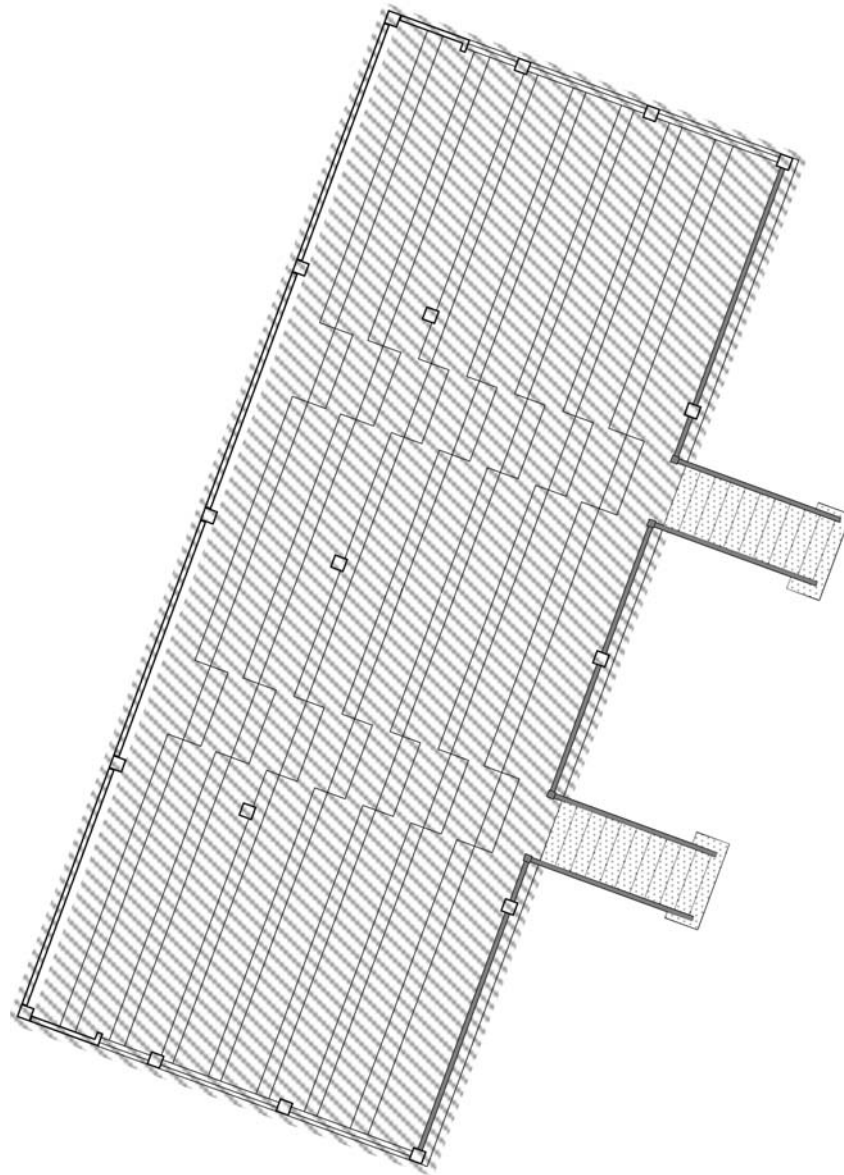


Figure 107 *Diagram identifying the various zones and /or elements of significance of the whole Gilbert Fraser Reserve Precinct site.  
Hocking Planning and Architecture, October 2009*



LEGEND





-  Zones and / or elements of Considerable Significance
-  Zones and / or elements of Some Significance
-  Zones and / or elements of Little or No Significance
-  Intrusive zones and / or elements

Figure 108 *Diagram identifying the various zones and elements of significance of the first floor level / pavilion of the grandstand.*  
*Hocking Planning and Architecture, October 2009*

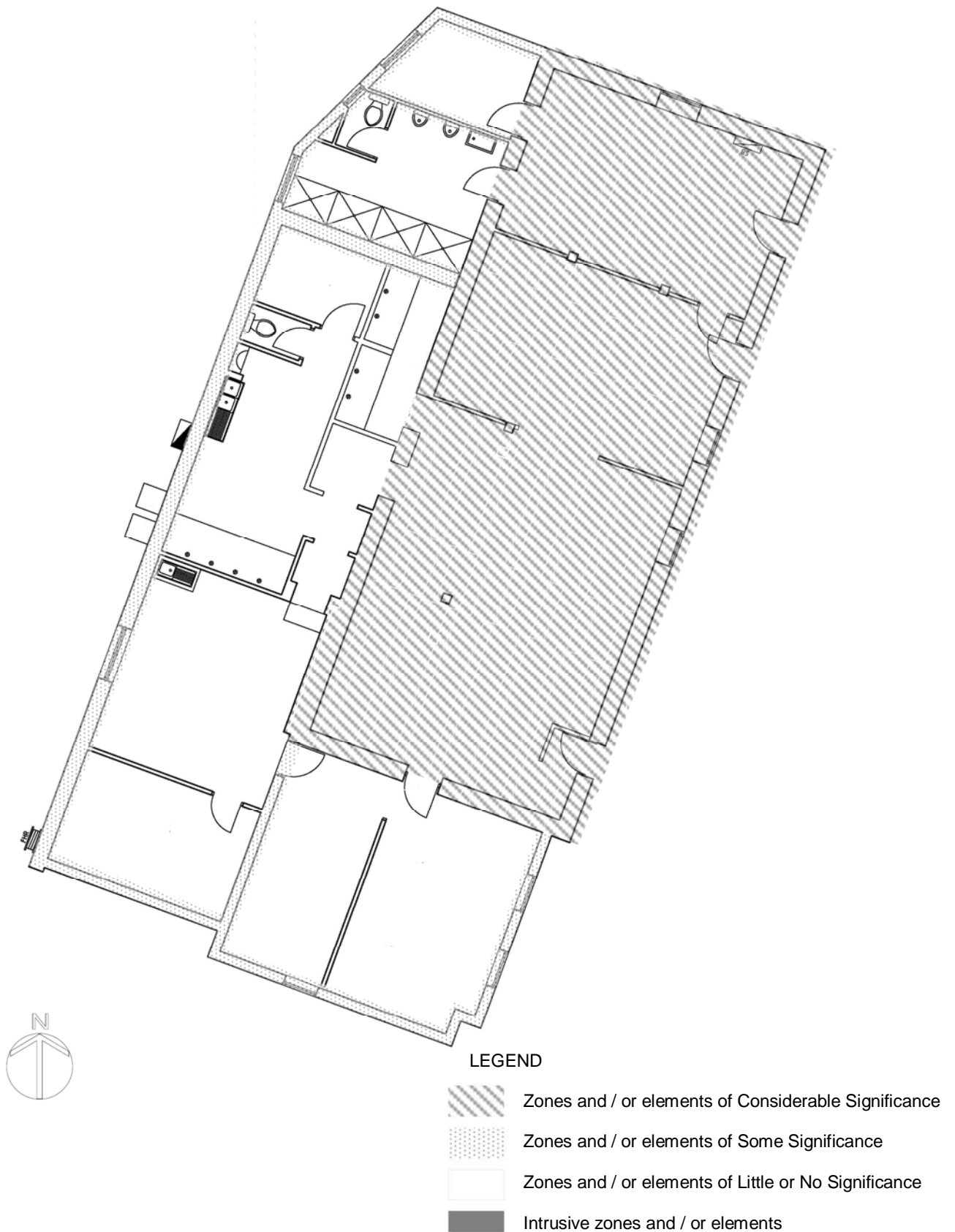


Figure 109 *Diagram identifying the various zones and / or elements of significance of the ground floor level / change rooms of the grandstand.  
Hocking Planning and Architecture, October 2009*

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## 7.0 CONSERVATION POLICIES AND RECOMMENDATIONS

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### 7.1 Introduction

The following conservation policies and recommendations have been developed on the basis of the preceding assessment of the cultural heritage significance, zones and elements of heritage significance and statement of heritage significance of the *Gilbert Fraser Reserve Precinct*. The policies and recommendations have been drafted to be sufficiently flexible to recognise constraints and requirements on the site and of its owners, managers, lessees and users, and at the same time enable the heritage significance of the place to be retained and enhanced, and in some cases, partly recovered.<sup>110</sup>

### 7.2 Key Conservation Policies

The primary aim of the following key conservation policies is the retention of the heritage significance and social significance of *Gilbert Fraser Reserve Precinct* and its setting. The conservation policies are also based on the need to effectively manage ongoing and future conservation, maintenance, repairs and development of the place and the significant zones and elements identified within the site.

#### **Policy 1**

**All works which may have an impact on the cultural heritage significance of the place and all policies for the maintenance and conservation of the significant buildings and landscape within the Gilbert Fraser Reserve Precinct shall be guided by the principles of The Australia ICOMOS Charter for Places of Cultural Significance 1999 (Burra Charter).**

#### **Policy 2**

**This Conservation Management Plan, including the assessed significances and Statement of Significance of Gilbert Fraser Reserve Precinct, shall be adopted as the basis for decisions about the management, maintenance, conservation, development and future use of the site, buildings, landscaping and its setting along the foreshore.**

#### **Policy 3**

**The site, including the whole of Reserve 9317 and Lot 67, existing built structures and landscape, shall be identified as 'Gilbert Fraser Reserve Precinct'.**

It is highly recommended for the place to be identified as 'Gilbert Fraser Reserve Precinct', which includes the oval / playing field, cricket wickets, significant trees, plantings and landscape elements on Reserve 9317 and Lot 67, the 1910 grandstand (pavilion, change rooms and accommodations below), the 1920s former stables, the 1954 / 1957 / 1980s single storey hall, 1960s toilet blocks, 1966 two storey timing stand and bitumen running track, former caretaker's residence, memorial gates and entries and playing areas.

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<sup>110</sup> Kerr, J. S. *Fremantle Prison – A Policy for its Conservation*, Building Management Authority of Western Australia, Perth, 1992, p. 5.

**Policy 4**

**The boundaries of Reserve 9317 shall be rationalised to include the adjacent Lot 67.**

The aerial photograph overlaid with site boundaries in Figure 28 shows that there is some discrepancy between the extent of the reserve boundary (Reserve 9317, Lot 478) and the grassed area (Lot 67), which is commonly understood and used as part of the Gilbert Fraser Reserve. The responsible agency for the Gilbert Fraser Reserve 9317 is the Department for Planning and Infrastructure. The City of Fremantle is designated as the manager of the reserve. The adjacent Lot 67 is owned by the City of Fremantle. Both reserve and Lot 67 are leased and maintained as playing fields by the North Fremantle Amateur Football Club, North Fremantle Football Club, Metropolitan Sunday League Inc. (no longer exist) and North Fremantle Cricket Club Inc. (Refer to Appendix H of this report for copies of the certificate of titles and reserve enquiry details)

If Lot 67 was excluded from the existing playing fields (approximately 15m less than that which is used currently for the soccer field and the second cricket wicket), the success of Gilbert Fraser Reserve Precinct would be seriously compromised. For consistency in planning and management of the Gilbert Fraser Reserve Precinct and for the future security of the users, it is recommended that the reserve boundaries be rationalised to include Lot 67.

**Policy 5**

**The Gilbert Fraser Reserve Precinct shall be nominated and assessed for inclusion on the Heritage Council of Western Australia's State Register of Heritage Places.**

It is highly recommended for *Gilbert Fraser Reserve Precinct* to be nominated and assessed for inclusion on the Heritage Council of Western Australia's State Register of Heritage Places for due recognition and protection measures under the Heritage of Western Australia Act 1990 (Heritage Act). The place is valued and considered by the City of Fremantle and the local community using its facilities to be of heritage and social significances.

Based on the City of Fremantle Municipal Heritage Inventory data base entry for 'Gilbert Fraser Reserve and Grandstand' (refer to Appendix F of this report), upon entry onto the State Register of Heritage Places, the current management category 'Level 1B' shall be elevated to 'Level 1A', thus providing further protection measures to ensure the retention of the place and its identified elements of significance. The relevant nomination form and information in regards to the assessment processes are available online through Heritage Council of Western Australia's website.

The recommended curtilage for inclusion on the State Register of Heritage Places is as shown in Figure 110, which includes the whole of the existing Reserve 9317 and Lot 67. In addition to agreement with the respective owners, the extant of the recommended curtilage would require further discussions and agreements with the Heritage Council of Western Australia and Swan River Trust (the whole of the Precinct and foreshore is within the Swan River Trust's Development Control Area and Riverpark). Refer to Policies 6 and 7 for appropriate policies and actions relating to identified built structures and landscape elements of significance within the proposed curtilage.





-  RECOMMENDED CURTILAGE FOR INCLUSION ON HCWA STATE REGISTER OF HERITAGE PLACES.
-  SWAN RIVER TRUST DEVELOPMENT CONTROL AREA AND RIVERPARK.

Figure 110 Diagram showing recommended curtilage for inclusion on the State Register of Heritage Places  
*Hocking Planning and Architecture, July 2010*

**Policy 6**

The zones and elements identified as being of cultural heritage significance shall be retained and conserved in accordance with the relevant policies and definitions for graded zones and elements of significance.

**Policy 7**

Future development of the place shall have due cognisance of the place's identified heritage values; ensure that the significance of the place is not diminished.

Refer to Section 6.2 of this report for levels of classifications and definitions associated with the graded zones and elements of significance within the Gilbert Fraser Reserve Precinct for all ongoing and future conservation, maintenance, repairs, new work and development. It is crucial for all involved in planning and implementing of any work for the place new to recognise the need to do as much as necessary and as little as possible, so as to retain the heritage significance of the place.

**Policy 8**

**A clear methodology of work to undertake conservation, maintenance and / or repairs shall be established to ensure retention of significant fabric and landscaping.**

This would include:

- Review and updating of any existing maintenance plan and management plan for the place;
- Inclusion of relevant findings of this report into existing maintenance plan and management plan
  - fabric assessment (refer to Section 3 and 9),
  - landscape assessment (refer to Appendix J),
  - maintenance plan (refer to Section 9),
  - implementation strategy (refer to Section 9),
- Preparation of comprehensive structural assessments for the individual buildings, particularly the grandstand

**Policy 9**

**Appropriate professional direction and supervision shall be maintained for all work relating to identified significant fabric and landscaping.**

For works relating to heritage planning, built fabric and structures within the Precinct, it is highly recommended for collaborative efforts between City of Fremantle Planning and Development and heritage officers, and relevant external heritage consultants i.e. architects, structural engineers and planners.

For works relating to the landscape within the Precinct and the foreshore, it is highly recommended for collaborative efforts between City of Fremantle's Fremantle Parks and Landscape Unit, Swan River Trust and relevant external heritage consultants i.e. landscape architects and planners.

**Policy 10**

**Interpretation of Gilbert Fraser Reserve Precinct shall be reviewed to integrate the natural context of the site with the development of its social, history and ongoing use as a sports facility.**

The significance of the Precinct is very much focused on the social significances, history and development of the reserve through time with its ongoing use as a sports facility for various popular sports.

Efforts to establish the existing interpretation on site are commendable but have little relationship with each other and with the existing built structures and landscape on site. The inclusion of the Gilbert Fraser Reserve within the Rocky Bay Heritage Trail provides a context in relation to the settlement, development and natural environment of North Fremantle and the naming of the reserve, memorial gates, turf wickets and hall after prominent members associated with the sporting clubs and sports memorabilia on display in the hall provide a context in relation to its long term and historical use as a sporting facility.

Further interpretation to integrate the site and its use may include the development of the original lot to its current extant, the relationship between the lot and the foreshore, the changes to the arrangement of the playing fields in conjunction with the development of popular sports and the development of its built structures, including existing structures (i.e. grandstand, stables and hall) and previous structures (i.e. clubrooms, press box). Interpretative material may include signage, plaques, displays, reinstatement of colour schemes and fittings, reconstruction of missing elements, which would add to enrich the experience of the heritage value of the place.

### **7.3 Policy Recommendations**

The policy recommendations have been drafted as a framework of guidelines which would potentially contribute towards development of future policies or be read as supplementary to key conservation policies for the *Gilbert Fraser Reserve Precinct*.

Recommended actions identified in the Landscape Heritage Analysis (LHA) have also been included in this section. Refer to page 14 and 15 of the Landscape Heritage Analysis by Blackwell Associates (Appendix J).

#### **7.3.1 Recommendations Arising from Cultural Significance of the Place**

The following recommendations are applicable to the future planning and conservation of the *Gilbert Fraser Reserve Precinct*, its significant buildings, in particularly, the grandstand and its landscape.

##### **Recommendation 1.**

**This Conservation Management Plan shall be reviewed every ten years to take into account the effects of the passage of time, works undertaken, implementation of policies and adoption of recommendations where applicable.**

##### **Recommendation 2.**

**The opportunity for the removal of intrusive built elements and vegetation shall be realised, where possible, to reveal and enhance the significance of the place, built structures and landscape.**

Refer to Section 6.2.5 of this report for all identified intrusive built elements and the Landscape Heritage Analysis for recommended actions (LHA page 14 and 15) relating to intrusive and / or potentially intrusive vegetation.

#### **7.3.2 Recommendations Arising from Constrains and Opportunities**

The following recommendations relate to constrains and opportunities arising from the Statement of Significance.

##### **Recommendation 3.**

**The grandstand is one of the few examples of a modest timber grandstand from the early 20th century period still in good condition. Conservation of the grandstand including restoration and reconstruction of former decorative elements shall be a priority in future conservation work.**

This recommendation is supplementary to Policy 6 and 10 in Section 7.2 of this report.

##### **Recommendation 4.**

**Future development on the reserve and / or the foreshore shall be mindful of the Norfolk Island pines which lends a distinctive landmark quality to the Gilbert Fraser Reserve Precinct.**

This recommendation is supplementary to Policy 6 and 7 in Section 7.2 of this report.

##### **Recommendation 5.**

**The Gilbert Fraser Reserve Precinct is valued by the community of North Fremantle and the wider sporting community of Perth. Its role in the formation of the district and its support of various**

**sporting codes shall be acknowledged in any future histories of the district and histories of the various sports.**

This recommendation is supplementary to Policy 10 in Section 7.2 of this report. The *Gilbert Fraser Reserve Precinct* was the location of one of the first ovals for the premier football competition in Perth. In the early 20th century it was a very popular venue for football attracting significant crowds to the area. The players and organisation at North Fremantle were significant in the formation of organised football in Perth. The Precinct has also been the venue for community gatherings in North Fremantle since the early 20th century and it continued to bond the community even though the residential population of the area dwindled in the mid to late 20th century.

**Recommendation 6.**

**Information relating to the contributions of individuals associated with the place to the community of North Fremantle and in many cases beyond the local community, shall be readily available to the users of the place and the wider community.**

This recommendation is supplementary to Policy 10 in Section 7.2 of this report. The names Gilbert Fraser, Stan Whipp, Laurie Tetley, Les Charlton and Dave 'Bluey' Millar are remembered through the act of naming of the reserve, hall, memorial gates and turf wicket in their honour. Other significant individuals including the architects associated with the grandstand should be acknowledged. Further information about these individuals can be made available either on the site, websites, the local library or community venue, as another form of interpretation for the place.

**Recommendation 7.**

**The association with architect Ronald Oldham who designed the grandstand shall be brought forward in any information relating to the place.**

This recommendation is supplementary to Policy 10 in Section 7.2 of this report. Ronald Oldham was closely associated with *Gilbert Fraser Reserve Precinct* through his professional work as an architect, his involvement with the North Fremantle cricket and football clubs and as a local resident. He made a significant contribution to the establishment and ongoing development of sporting facilities in the North Fremantle area.

## ARCHAEOLOGICAL INVESTIGATIONS

Archaeology, pre-history and invasive investigations have not been part of the work covered by this Conservation Management Plan. However, should opportunities arise in future which would warrant archaeological investigations, the main archaeological values within the Precinct are likely to relate to the present grandstand and its uses through time, site of the former press box (where existing hall is) and site of the gun emplacements associated with World War II (between football field and foreshore). The main archaeological values within the foreshore reserve are likely to relate to geological formation and development of the foreshore.

**Recommendation 8.**

**Archaeological and other forms of investigation should be made when possible to gain a better understanding of the place, its development and construction and for the purposes of diagnosis, conservation and interpretation.**

**Recommendation 9.**

**Sub-floor areas of the existing buildings shall be investigated by a suitably qualified professional when opportunity arises.**

**Recommendation 10.**

**The results of investigations should be recorded in accordance with current professional standards and a copy of reports lodged with Heritage Council of Western Australia.**

It is important that investigations should be relevant to the conservation and interpretation of the place. Investigative works should be carried out in locations where documentary evidence suggests that previous historic elements or material once existed, where physical evidence reveals a scatter or built site, and where subsequent construction would not have removed this evidence. These investigation works should be carried out in locations where there is little possibility of adversely impacting on significant locations. Investigations should be carried out with a well-founded purpose or by experienced people in attendance and should be professionally documented and recorded.

It is recognized that the resources are likely to be limited and the implementation of archaeological investigations will always be subject to resources being available.

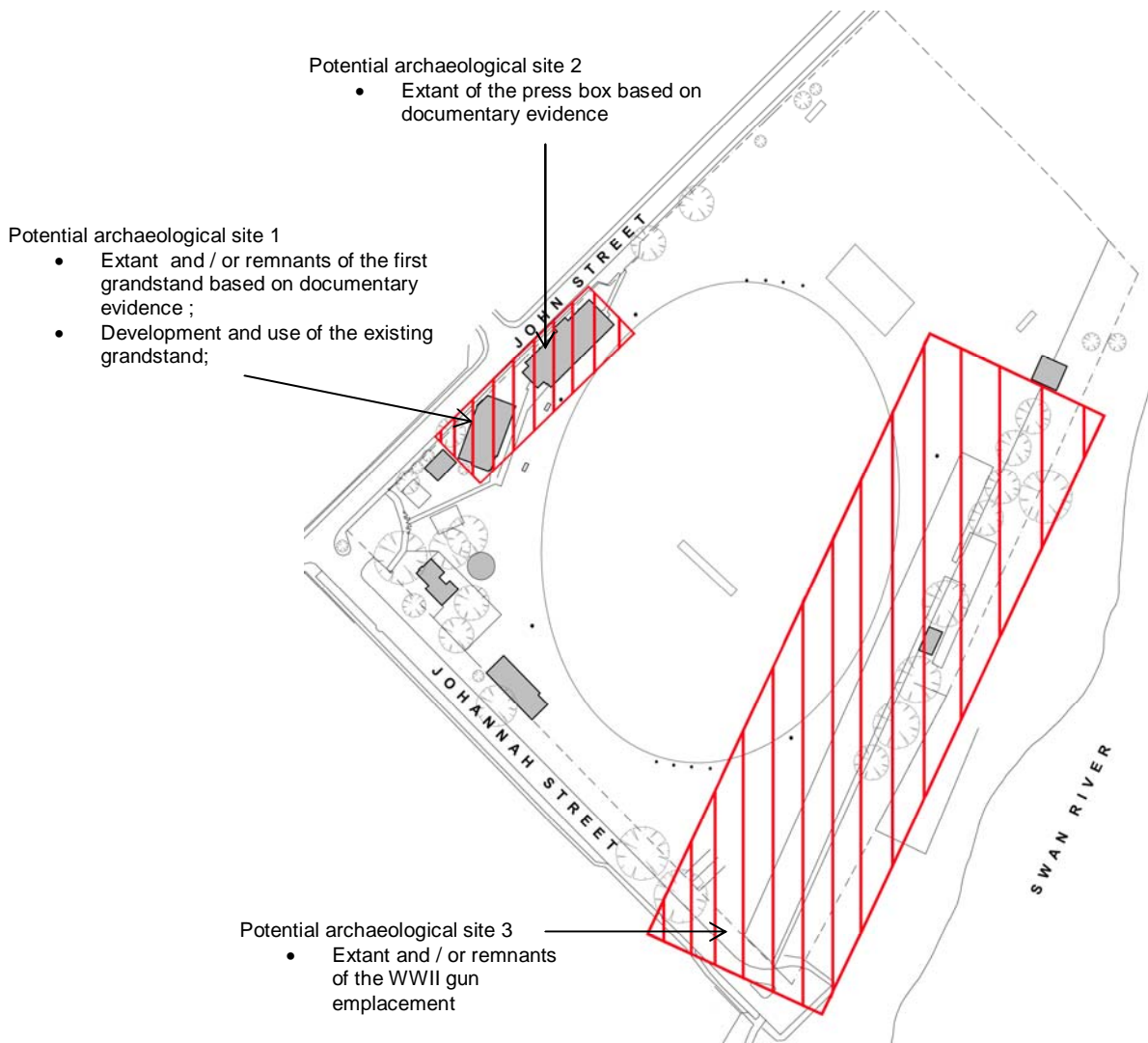


Figure 111 Diagram showing potential archaeological areas within the Precinct  
Hocking Planning and Architecture, July 2010

## WORLD WAR II

### **Recommendation 11.**

**Interpretation of historical and social significances associated with the North Fremantle Associated Clubs including players who risk their lives in the World Wars shall be included as part of the overall interpretation of the place.**

With the outbreak of World War II the activities of the football club were deeply affected as players were away at war, fighting for the country. All activities and games were brought to a halt. Formal 'relaunch' of the club took place after the war with much difficulty, as a consequence of the club's loss of many of its talented players to the war. Based on comments received from a recent community consultation, members of the NFAC felt strongly about relating this part of their history on site and to commemorate their fellow members. Potential areas for commemorative 'paths' and plaque installation includes the entry pathway from the Laurie Tetley Memorial Gates leading to the grandstand and proposed pathway amongst the Norfolk Island pines which are within the potential archaeological site for the WWII gun emplacements.

### **7.3.3 Recommendations Relating to the Physical Setting of the Place**

#### **Recommendation 12.**

**The Gilbert Fraser Reserve Precinct is on a prominent site on the Swan River. The views to it from the river and from across the river shall be conserved and maintained to retain this aspect of its heritage significance.**

This recommendation is supplementary to Policy 6, 7 and 10 in Section 7.2 of this report. The *Gilbert Fraser Reserve Precinct* is a prominent landmark within North Fremantle. Its location on the foreshore of the Swan River makes it readily recognised to the passing water traffic and from the adjacent East Fremantle bank. The Precinct has always been closely linked to the river since the formation of the first reserve in 1895. Although the foreshore area has increased with silt build up and infill over the years, the links with the river are still evident.

Intensive planting should also be avoided and existing trees and large shrubs should be under pruned to clear views to the river from the reserve and vice versa. (Refer to LHA Recommendation 4 relating to recommended actions within the foreshore zone)

### **7.3.4 Recommendations Relating to the Physical Condition of the Place**

The following recommendations arise out of the physical evidence, assessment of significance, the statement of significance and recommended actions identified in the Landscape Heritage Assessment (refer to Appendix J). These recommendations are supplementary to Policy 6, 7 and 10 of Section 7.2 .

#### LANDSCAPE

#### **Recommendation 13.**

**Recommended actions identified in the Landscape Heritage Assessment shall be adopted.**

#### **Recommendation 14.**

**Entries into the Precinct shall be rationalised and upgraded to improve the overall presentation of the place.**

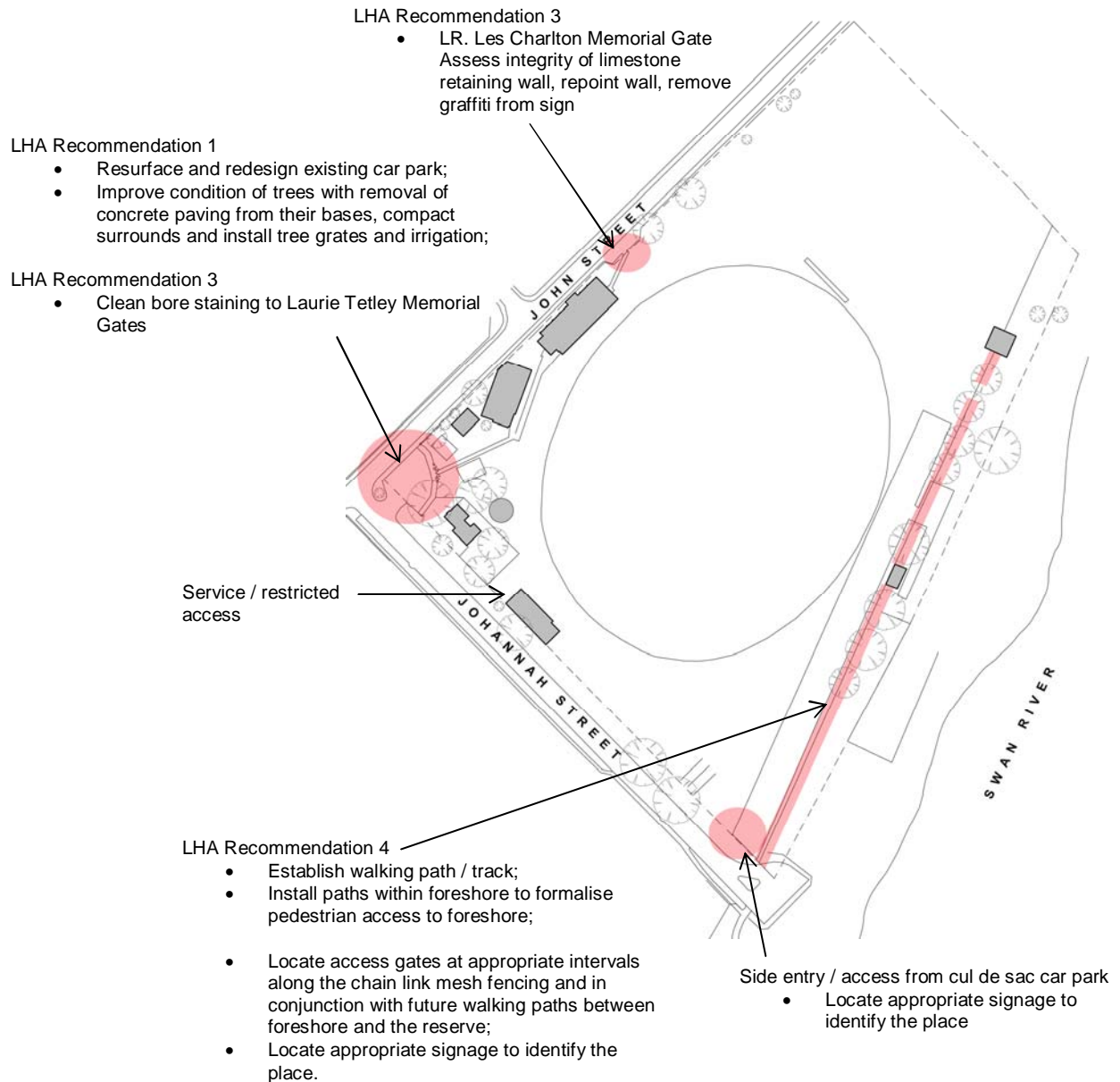


Figure 112 Diagram showing entries into the Precinct and recommended actions  
Hocking Planning and Architecture, July 2010

**Recommendation 15.**

The Landscape Heritage Analysis has identified the Norfolk Island Pines (*Araucaria heterophylla*) and New Caledonia Pine (*Araucaria columnaris*) as the predominant species at the place. These trees shall be regularly monitored and should deterioration become apparent a recognised professional arborist consulted.

Refer to the Landscape Heritage Analysis for a summary of these trees and their landmark qualities.

**Recommendation 16.**

**New landscaping shall not compromise the integrity and presentation of identified zones and elements of significance.**

The existing landscape along the foreshore, including the Norfolk Island Pines (*Araucaria heterophylla*) and New Caledonia Pine (*Araucaria columnaris*), the whole reserve and the grandstand have been identified as being zones and elements of considerable significance. To emphasize the significance or presentation of one or the other is not encouraged.

Plantings around the grandstand, if required, should be carried out in accordance with the recommendations in the landscape heritage analysis and / or with guidance by conservation professional. The microclimatic effect of plantings and potential damage caused by tree root systems around existing heritage fabric should be observed.

**Recommendation 17.**

**The existing vegetation shall be retained with a regular maintenance regime and reviewed when necessary.**

The current maintenance program is managed by the North Fremantle Associated Clubs and is functioning well. Any changes in the leaseholder arrangement should ensure that the landscaping maintenance continues and should involve close consultation with the City of Fremantle Parks and Landscape Unit and Swan River Trust if required. Refer to LHA Recommendations 2, 4, 6 and 7 relating to recommended actions for existing vegetation within the reserve and foreshore.

**Recommendation 18.**

**Any future fences and street furniture items shall not be given undue emphasis and should be simple utilitarian well crafted objects.**

**Recommendation 19.**

**Building signage, including navigation, building identification and statutory forms, shall be of a minimal nature and where possible, enhance significant building fabric and landscape.**

These elements are necessary to provide comfort, guidance and information to visitors and users of the site. Care should be given to the design of signage, including interpretive plaques, and guide or hand rails. The selection of street or outdoor furniture including seating for spectator should be appropriately scaled, suitable colour and material. The siting of these elements should also be considered in relation to the presentation of the grandstand and other existing buildings as well as users' requirements.

## BUILT FABRIC

The following recommendations are supplementary to Policy 6, 8 and 10 in Section 7.2 of this report.

**Recommendation 20.**

**A structural condition report shall be commissioned to determine potential structural issues that could apply to future conservation works on the grandstand.**

With reference to Policy 8, it is recommended for the commissioning of a qualified structural engineer specialising in heritage buildings to undertake the structural assessment / condition report prior to the implementation of conservation works. The assessment / condition report

should make recommendations to remediate any structural inadequacy and may include recommendations for more than one method of intervention, for example, structural remediation work can be fully concealed, discretely incorporated into existing fabric, fully exposed as a design feature or reconstruction of the whole structure.

**Recommendation 21.**

**Existing fabric from significant heritage structures shall be salvaged and reuse where possible.**

**Recommendation 22.**

**Replacement of significant heritage fabric shall match the original in respect to material, details, profiles and lengths.**

Work would include replacement of deteriorated external weatherboard cladding and internal wall lining. In the recent conservation campaign, the whole of the west elevation was replaced with new painted and treated pine weatherboard cladding. In this case, salvaging existing material for reuse is not an option due to extent of deteriorated and area involved. The use of the new material with profiles to match original is generally acceptable, despite being of a different thickness to the original jarrah. Consistency was achieved as the whole elevation was replaced rather than patching.

Internally, the removal of damaged traditional 'Ripple' corrugated sheet metal wall lining and replacing with contemporary sheet metal lining with a larger corrugation is inconsistent with the original design intent. The scale and proportion of the original change rooms have been altered significantly. Replacement of the replacement 'Custom Orb' wall lining with traditional 'Ripple' or its contemporary, 'Mini Orb' profile, is recommended.

**Recommendation 23.**

**The opportunity to investigate and reinstate previous paint finishes shall be realised, where possible. Investigative paint scrapes shall be used to assist in making decisions about any future paint works to existing fabric.**

The use of paint "ladders" for interpretive purposes is encouraged where earlier colour schemes are not implemented.

**Recommendation 24.**

**All existing stormwater disposal systems shall be inspected and remediated to minimise further deterioration of significant fabric.**

**Recommendation 25.**

**All existing damp proof courses shall be inspected and remediated to minimise further deterioration of significant fabric.**

It is crucial to arrest deterioration of significant fabric in the first instance, prior to further conservation and / or maintenance work. The ingress of water into building through falling damp or rising damp where existing falls and subsoil drainage are inadequate to effectively drain water away from the buildings would only exacerbate deterioration of these buildings. Damaged or 'bridged' damp proof courses are contributory factors to the deterioration of building fabric.

It is recommended for a comprehensive review and remediation of existing stormwater discharge system to be carried out for all buildings. This includes stormwater discharge systems at high level - roof cladding, gutters and downpipes - and low level stormwater discharge and subsoil drainage, including sumps, falls and soaks wells. Review capacity of the existing gutters and downpipes and upgrade as required. All damaged roofing, gutters, downpipes and sub-soil drainage would need to be replaced.

Inspect, and remediate as required, all damp proof courses around buildings. Remediation may not require extensive methods i.e. insertion of new damp proof course. It may only require the alteration of existing ground levels or removal of paving to eliminate 'bridging' between the external and internal environments.

### **7.3.5 Recommendations Relating to Maintenance and Repairs**

#### GENERAL

**Recommendation 26.**

**A maintenance plan that sets out a program for regular inspections and maintenance routine shall be established.**

This recommendation is supplementary to Policy 8 in Section 7.2 of this report. Existing maintenance plans, if any, should be reviewed and expanded as necessary to include conservation and maintenance work scheduled in Section 8 of this Conservation Management Plan. As a general guideline, the maintenance plan should include

- Weekly inspections - general presentation and cleanliness around the site
- Monthly inspections - potential health and safety hazards, security, pests activity and weatherproofing of building;
- Annual inspections – pest control and building insurances, condition of building fabric, re-painting and replacement of building fabric, condition of mechanical systems

The implementation of the various tasks identified within the maintenance plan by the owner, managers, lessees and user groups should be included.

**Recommendation 27.**

**Potential tripping and safety hazards on site, in buildings and between buildings where accessible to the public shall be inspected and reconcile.**

Several safety hazards have been identified in Section 3 of this report and Landscape Heritage Analysis. These include unevenness of existing brick paving in the verandah areas of the hall and gymnasium due to ground settlement and heavy traffic, sudden and unmarked changes in paving and ground levels, cracked concrete slabs and footpaths, and undulated ground level between the grandstand and hall.

#### SERVICES

**Recommendation 28.**

**Existing electrical services shall be upgraded and sympathetically integrated into heritage fabric.**

The electrical and lighting services of the grandstand including the change rooms below are inadequate and out dated. These services should be upgraded to current standards to prevent fire and security risks to the heritage listed timber building. Advances in modern electrical and lighting services offers flexibility and efficiency with less intrusive fittings and wiring systems, appropriate for use and integration within heritage fabric.

**Recommendation 29.**

**Existing fire prevention services shall be reviewed and upgraded.**

In light of historical occurrences of fire on site which destroyed part of the grandstand and former stables and the extensive usage of timber in the construction of significant buildings, it is highly recommended for a comprehensive review and upgrading of existing fire

prevention services. Where required, the services shall be sympathetically integrated into the heritage structures and appropriately sited within the Precinct.

## HAZARDOUS MATERIAL

### **Recommendation 30.**

**The extent of any asbestos materials of the site and buildings shall be investigated. Their maintenance and/or removal should be carried out according the appropriate guidelines for removal of hazardous materials.**

If necessary, an asbestos audit should be commissioned for the site and appropriate practises and current safety procedures adopted for maintenance or other works.

### **Recommendation 31.**

**Areas containing lead based paint shall be identified and safety procedures established to guide future work.**

The age of the existing buildings make it likely that lead based paints were used for original and earlier finishes. Care should be taken when undertaking future maintenance and / or conservation work to the existing buildings. Removal of lead based paint is highly recommended and should only be undertaken when the buildings are not in use and within a sealed and secured environment. However, this option is not always feasible as it often involves extensive testing of surface samples and may affect larger areas. Repainting over painted surfaces without damaging existing painted surfaces can be carried out provided the work is carried out in accordance with current standard safety procedures.

### **7.3.6 Recommendations relating to External Requirements**

The following recommendations are supplementary to Policy 3, 4 and 5 in Section 7.2 of this report. All current heritage listings are noted in section 1.9 of this report.

### **Recommendation 32.**

***As a place listed in the State Register of Heritage Places, any changes or works that may affect the place's significance must obtain development approval from City of Fremantle and must be referred to the Heritage Council of Western Australia.***

Potential changes or works include:

- demolition of buildings;
- alteration or adaptation of buildings or part of buildings;
- conservation of buildings or part of buildings;
- major landscaping work;
- new development on site;
- change of use to existing reserve and buildings;
- new development on adjacent sites which may or may not have significant impact on the registered site.

Further information relating to development on heritage listed sites can be obtained from the City of Fremantle Planning and Development.

### **Recommendation 33.**

**Any development and / or changes that may affect the Precinct and foreshore shall be referred to the Swan River Trust.**

The Precinct (Reserve 9317 and Lot 67) and the foreshore (Reserve 36420) are contained within the Swan River Trust (DCA) Development Control Area and Riverpark. The Trust has the responsibility and statutory planning role for all development proposals that would affect the DCA including:

- Development wholly in the DCA
- Development of land, any part of which is in the DCA
- Development of land that is not in the DCA but abuts waters in the DCA
- Development of land that abuts the DCA
- A development likely to affect waters in the Swan DCA

The Swan River Trust's development approval process and guidelines are appended to this report (Appendix G)

## BCA COMPLIANCE

### **Recommendation 34.**

**Wherever possible, future works shall comply with the Building Code of Australia (BCA) and other specific code and regulatory requirements.**

Unless it can be demonstrated to the satisfaction of the relevant authorities that the heritage significance of the place would be compromised by compliance then compliance to current standards i.e. Building Code of Australia and relevant Australian Standards is required.

The works on site would include upgrading of public accessibility, fire services, emergency lighting, electrical and plumbing services. Public accessibility on site would require careful and sympathetic considerations as it may impact on the presentation of the grandstand and immediate areas around the grandstand, in respect to location of access ramps, stairs, guide or hand rails, tactile indicators and materials. Other BCA requirements identified do not appear to pose conflicts with conservation requirements provided these works are undertaken with care, sympathetically integrated with the significant built fabric and with impact on the overall setting and presentation of the Precinct, significant buildings and landscape.

### **7.3.7 Recommendations relating to the Requirements and Resources of the Owner, Manager, Lessees and Users**

The following recommendations sets out a framework for the owners, manager, lessees and users of the place in regards to conservation, maintenance, repairs and upgrading (including new work) to existing buildings, sports facilities and landscape within the Precinct. The recommendations take into account the need to upgrade existing facilities, provision of new facilities and new activities, depending on the development of the numerous sports and demand from the users of the place.

As authors of this report are not privy to the lease arrangements between the owners and lessees of the place, the adoption of these recommendations in addition to existing management of the place would require further discussion and agreement between the two parties. These recommendations shall be read in conjunction with any existing management and maintenance plans.

## OWNERS AND MANAGER

### **Recommendation 35.**

**The owners of the Gilbert Fraser Reserve Precinct shall be responsible for maintaining the heritage significance of the place, including allocation of budgets for conservation, maintenance, repairs and upgrading work within the Precinct.**

**Recommendation 36.**

The owners and manager of the Gilbert Fraser Reserve Precinct shall be responsible for the management and implementation of the policies and recommendations of the place.

**Recommendation 37.**

The owners and manager of the Gilbert Fraser Reserve Precinct shall be responsible to inform the lessees and users of the place in regards to ongoing and future conservation, maintenance, repairs and improvement work within the Precinct.

## LESSEES AND USERS

**Recommendation 38.**

The lessees of the Gilbert Fraser Reserve Precinct shall be made aware of this conservation management plan.

**Recommendation 39.**

The lessees of the Gilbert Fraser Reserve Precinct shall have shared responsibilities for the maintenance of the reserve, existing buildings and landscaping within the Precinct.

**Recommendation 40.**

The lessees and users of the Gilbert Fraser Reserve Precinct shall be made aware of the manner in which maintenance, repairs, upgrading or adaptation of existing buildings and facilities can be undertaken.

**Recommendation 41.**

The lessees of the Gilbert Fraser Reserve Precinct shall be responsible to inform the owners and manager of the Precinct in regards to construction of new buildings and / or facilities.

**Recommendation 42.**

The lessees of the Gilbert Fraser Reserve Precinct shall be responsible to inform the owners and manager of the Precinct in regards to changes to existing landscape.

**Recommendation 43.**

The lessees of the Gilbert Fraser Reserve Precinct shall be responsible to inform the owners and manager of the Precinct in regards to changes to existing uses and activities.

### ***7.3.8 Recommendations relating to Future Development and Compatible Use***

#### **FUTURE DEVELOPMENT WITHIN THE PRECINCT**

**Recommendation 44.**

A comprehensive master plan for the Precinct shall be undertaken prior to any future development on site.

The master plan would need to identify all constrains, opportunities, risks and management for the Precinct, including identifying the relevant requirements of all state and local government agencies i.e. Heritage Council of WA, Swan River Trust, Department of Planning and Infrastructure and City of Fremantle. Considered approach to the retention of heritage significance of the Precinct and the grandstand should be a priority.

**Recommendation 45.**

**Future development, including new buildings and sports facilities, shall be contained within recommended development zones.**

**Recommendation 46.**

**Future development, including new buildings and sports facilities, adjacent to the grandstand shall not overwhelm the scale and height of the grandstand.**

**Recommendation 47.**

**Future development, including additions to existing buildings and sports facilities, shall be consistent with the definitions and guidelines adopted in this conservation management plan for the graded levels of significances.**

**Recommendation 48.**

**Future development shall be mindful of the location and requirements of playing fields.**

**Recommendation 49.**

**Future development shall be mindful of the existing use of the reserve and the significant buildings. Any changes shall require development approval from City of Fremantle and referrals to Heritage Council of Western Australia and Swan River Trust.**

With reference to the status of the Precinct as a 'reserve' and the nature of the sporting venue, it is not anticipated for residential or commercial development, not associated with its current use, of any scale to occur within the Gilbert Fraser Reserve Precinct.

However, it is likely that the requirements of the various users at the Gilbert Fraser Reserve Precinct will evolve and change in the future. There may be a need for further sporting facilities on site such as additional sports equipment or playing pitches. Location and size of the equipment would be determined by the requirement of the sports. It is recommended for alterations to the existing playing fields for the purpose of catering for new sports to be reversible in future.

For additional built facilities such as seating for spectators, gymnasium or fitness centre and community or meeting centre, should this need arise, it is recommended for the manager, lessees and user groups to look into adaptation and extension to existing buildings such as the former stables and hall. This would ensure the conservation, continual use and care of the existing buildings and would assist to minimise impact of new development on site.

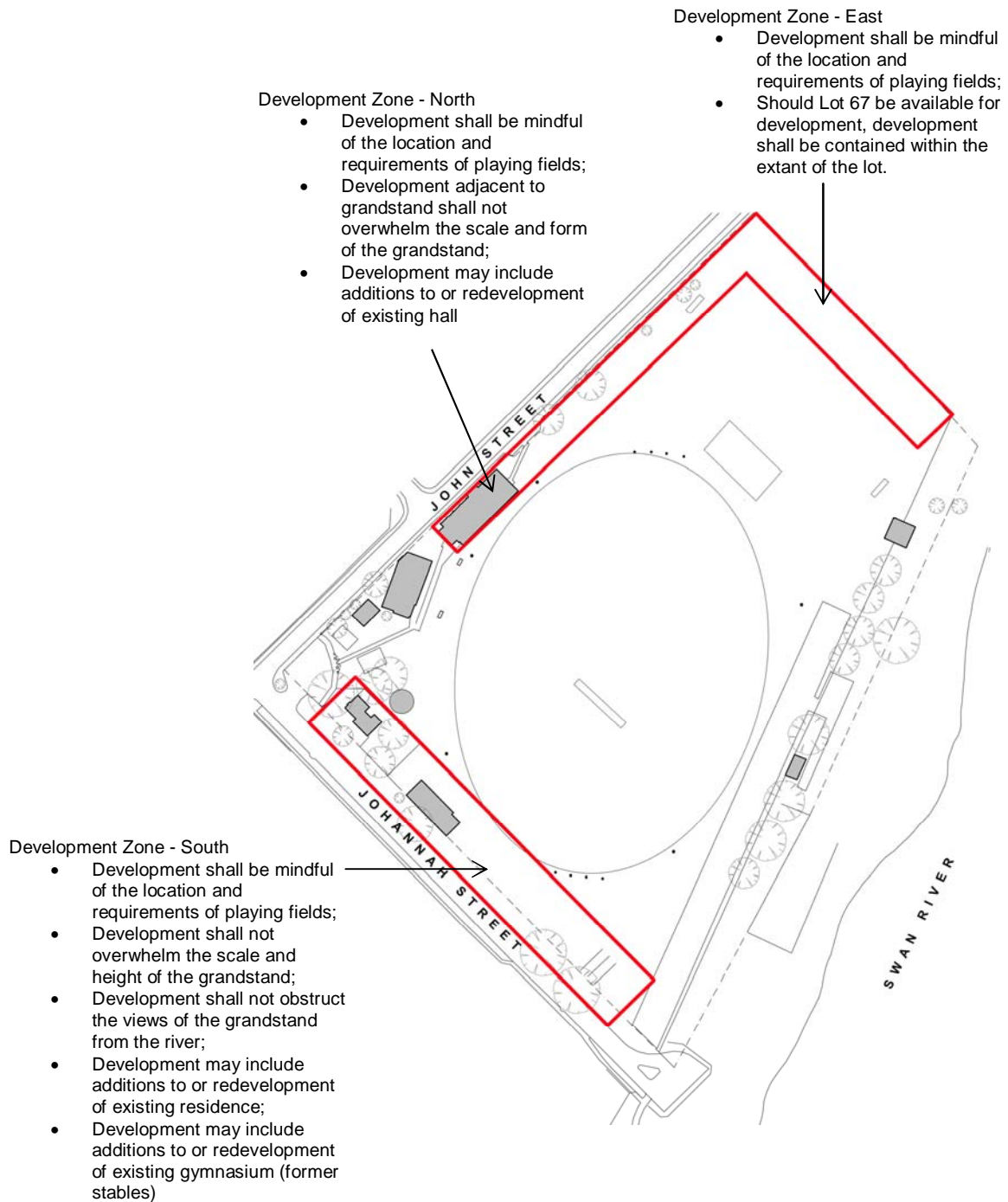


Figure 113 Diagram showing recommended development zones within the Precinct  
Hocking Planning and Architecture, July 2010

**Recommendation 50.**

The design of new development, including new buildings and additions, adjacent to the grandstand shall be complementary to its style. The design shall not mimic the style of grandstand.

**Recommendation 51.**

New structures which form extensions to the existing facilities within the grandstand shall remain legible as a discrete structure.

#### FUTURE DEVELOPMENT ADJACENT TO THE PRECINCT

**Recommendation 52.**

Future development immediately adjacent to the Gilbert Fraser Reserve Precinct shall be limited to small to medium scale development, consistent with the scale of the grandstand and surrounding residential.

**Recommendation 53.**

Future development adjacent to the Gilbert Fraser Reserve Precinct shall not obstruct important view corridors of the grandstand and the Precinct from the river.

#### ONGOING USE

**Recommendation 54.**

Ongoing use as a reserve for sports and passive recreation for the public shall be retained.

**Recommendation 55.**

Changes to the existing configuration of the playing fields can be accommodated provided the changes are contained within the existing playing fields.

**Recommendation 56.**

Short term use of the Precinct, or part of, for community based events i.e. performance venue, carnivals, shall be mindful of public accessibility, security and safety of the grandstand, existing buildings and facilities on site and safety and security of the public.

The existing Precinct plays host to numerous sporting events throughout the year. Should the events be increased to include outdoor performances, carnivals or similar events, the scale of these events shall not exceed the scale and capacity of existing sports events. A detailed feasibility study, separate to this conservation management plan, would be required to assess the appropriate limitations needed to safeguard and secure the Precinct, grandstand, existing buildings and facilities.

#### CHANGES TO EXISTING USE

**Recommendation 57.**

Any changes to the existing land use shall require development approval from City of Fremantle for referral to the relevant state agencies.

Also refer to Recommendation 33.

This includes potential change of use of the overall Precinct, or part of the Precinct i.e. former caretaker's residence, should the house be demolished and the land is subdivided or redeveloped.

**Recommendation 58.**

**Compatible uses shall be community based activities for the general public.**

**Recommendation 59.**

**Future change of use shall take into consideration the continuous use of the grandstand.**

The present mix of activities and their requirements are appropriate to the conservation objectives for place. Changes to the present mix of activities should be carefully considered to ensure that all relevant issues relating to economic and physical sustainability are taken into account. In assessing the possibilities of compatible uses, the principle of the Burra Charter, which relates to adaptation and reuse, should be adhered to. Any future use of the Gilbert Fraser Reserve Precinct should be accessible to the majority of the community.



## 8.0 IMPLEMENTATION

### 8.1 Implementation and Future Management

It is highly recommended for a collaborative approach to undertake review and adoption of policies, recommendations, management strategies, conservation works, maintenance and repairs identified in this Conservation Management Plan in conjunction with consultation with the various parties involved with the place including:

- Department for Planning and Infrastructure as the responsible agency for the Gilbert Fraser Reserve 9317;
- City of Fremantle as the manager of the Reserve 9317, part reserve 36420 between the Swan River and the southern boundary of Reserve 9317
- City of Fremantle as owner of the adjoining Lot 67;
- North Fremantle Associated Clubs as the lessee;
- Heritage Council of Western Australia (HCWA) as state heritage agency with jurisdiction for all heritage related issues should the Precinct and /or the grandstand be listed in the Register of Heritage Places;
- Swan River Trust as state agency with jurisdiction over the foreshore reserve.

The owners and manager of the place are primarily responsible for the management and implementation of the works identified in this Conservation Management Plan. As lessee and major user group with considerable involvement and interest on the Gilbert Fraser Reserve site, the North Fremantle Associated Clubs should be consulted in regards to maintenance, ongoing and future works on site which may affect their activities and usage of existing facilities. Ongoing dialogue between the owner and manager, City of Fremantle, and the lessee, North Fremantle Associated Clubs, is highly encouraged to achieve greater coherence in regards to strategic planning and responsibilities between the two parties on key issues and objectives.

In addition, the Precinct and / or the grandstand be nominated for assessment and inclusion on the State Register of Heritage Places, Heritage Council of Western Australia should be kept informed and consulted with should conservation works and future development occur on site. The Swan River Trust should be kept informed and consulted should development occur adjacent and / or within the site.

The recommended actions and work in the following sections are prioritised within a specific timeframe to provide a framework for their implementation and to allow for forward planning and budgeting.

***Ongoing work***

Works to be undertaken as part of maintenance and / or management program

***Urgent work***

Works to be undertaken within 1 – 3 years.

***Medium Term work***

Works to be undertaken within 3 – 5 years.

***Long Term work***

Works to be undertaken within 5 – 10 years.

<b>Policy</b>	<b>Recommended Actions</b>	<b>Priority</b>	<b>Implementation</b>
Policy 1	Undertake all recommended work /actions based on the guidelines provided by the principals of the Burra Charter	Ongoing	Owner, manager, lessee
Policy 2	Adoption of 'Gilbert Fraser Reserve Precinct Conservation Management Plan'	Urgent - Ongoing	Owner, manager
Policy 3 & 4	Initiate discussion to rationalise	Urgent -	Owner

	boundaries of Reserve 9317 to include adjacent lot 67. Include all built structures and landscape within the two boundaries as 'Gilbert Fraser Reserve Precinct'	Ongoing	
Policy 5	Initiate nomination and assessment of 'Gilbert Fraser Reserve Precinct' for inclusion on the HCWA State Register of Heritage Places	Urgent	Owner, manager
Policy 6	Retain and conserve all zones and elements of significance. ( <i>Refer to Section 8.3 below</i> )	Urgent, ongoing, short term and long term	Owner, manager in consultation with lessee
Policy 7	Ensure the significance of the place is not diminished or affected by future development. ( <i>Refer to Section 8.3 below</i> )	Ongoing	Owner, manager in consultation with lessee and referral to HCWA as required
Policy 8	Undertake review and update of existing maintenance and repair program. ( <i>Refer to Section 8.2 below</i> )	Urgent & Ongoing	Owner, manager in consultation with lessee
	Undertake review and update of existing management plan	Urgent & Ongoing	Owner, manager in consultation with lessee
	Undertake comprehensive structural assessment for the grandstand ( <i>Refer to Section 8.3.1 below</i> )	Urgent or Short Term	Owner, manager
	Undertake structural assessments for other buildings i.e. former stables	Short Term	Owner, manager
Policy 9	Ensure appropriate professional direction and supervision for all work relating to significant fabric and landscape	Ongoing	Owner, manager, lessee
Policy 10	Review and update interpretation plan. Initiate discussions to integrate existing interpretation with social, history and ongoing use as sports facility with the wider context of the place	Ongoing	Owner, manager in consultation with lessee

## 8.2 Maintenance and Repair Program

The maintenance and repair program can be expanded to include other related maintenance issues where appropriate.

Relevant policies / Recommendations	Recommended Actions	Priority	Implementation
(continue)	Appoint / nominate a person responsible to manage and take actions for the maintenance programme.	Urgent	Owner, manager in consultation with lessee
	Repairs should be undertaken in accordance with the relevant conservation policies / recommendations and guidelines.	Ongoing	
	Consult appropriate specialist /	As required	

	professionals skilled in conservation work		
	Cleaners/building users to report any defects noted, including broken windows or hardware, leaks in the roof, falling pieces of masonry, wood dust from termites, etc.	Ongoing (weekly)	Manager, lessee
	Check all fire fighting equipment and detection devices are in operational order and ensure all points of egress remain clear.	Ongoing (weekly)	
	Check doors and windows are locked and in operational order.		
	Change defective light bulbs and fuses and attend to minor faults in the electrical system.		
	Maintain playing fields and landscaping within Precinct		
	Inspect for termites and other vermin and treat as necessary.	Ongoing (quarterly)	
	Inspect roof cladding, flashings and rainwater goods, repair as necessary. Ensure that all gutters are free of debris and check that gutters and downpipes flow freely.		
	Check all electrical fittings, switchboards, etc. for safety reasons.		
	Check all plumbing services for leaks.		
	Clean all light fittings.		
	Check joinery and paint finishes for deterioration and repair damaged elements.		
	Check for trip hazards around the site i.e. loose, uneven paving		
	Underprune River Gum ( <i>Eucalypt camaldulensis</i> ) adjacent to gymnasium ( <i>refer to LHA</i> )		
	Monitor development of Peppermint tree ( <i>Agonis Flexuosa</i> ) to the south of the grandstand to prevent potential damage to built structure. ( <i>refer to LHA</i> )		
	Underprune trees and large shrubs to clear views to the river ( <i>refer to LHA</i> )		
	Maintain pest control and building insurances. Insurance company to be notified of any changes to existing policies.	Ongoing (annually)	
	Review occupational health and safety compliances		
(continue)	Clean windows, doors and painted		

	surrounds.	Ongoing (annually)	Manager, lessee
	Inspect structure for cracks and signs of movement or other failure.		
	Check subsoil drainage are in operational order		
	Clean bore staining from 'Laurie Tetley' Gates. (refer to LHA)		
	Repaint steel gates (refer to LHA)	Ongoing (every 3 to 5 years)	
	Review the need to repaint existing paint finish to timber structures. Carry out repainting as required.		
	Re-point rubble limestone mass retaining wall in front of the grandstand		
	Re-point rubble limestone walls along John Street (refer to LHA)		

### 8.3 Conservation Works Program

The following conservation work program has been developed on the basis that the Gilbert Fraser Reserve Precinct will continue to be used as a reserve with playing fields and sports facilities. Items identified in the Landscape Heritage Analysis (LHA; refer to Appendix J of this report) have also been included in the schedule. The schedule can be expanded to include other related conservation works where appropriate.

#### 8.3.1 Schedule of Recommended Conservation Work

Key areas / relevant policies & recommendations	Recommended Work	Priority	Implementation
General / All areas  (Policies 2, 7, 8 & 9, Recommendations 12, 13, 27, 28, 31, 32 & 34 to 42)	Review the needs and requirements for BCA and Australian Standards compliances	Urgent & short term	Owner, manager, lessee
	Review existing security and fire prevention measures. Upgrade as required.	Urgent	
	Review existing electrical services. Upgrade as required.		
	Review existing parking provision including designated car parking areas and street parking.		
	Resurface existing car park. Redesign if necessary to improve appearance circulation (vehicle and pedestrian) around the entry. (refer to LHA)	Urgent & short term	
Landscaping  (Policies 1, 2, 6 to 9, Recommendations 2, 4, 11 to 16 to 18 26, 31 to 42)	Review existing irrigation needs. Rationalised to reduce usages as mandated by the Coty's water conservation plan. (refer to LHA)	Urgent & short term	Manager, lessee
	Remove existing non-compliant stainless steel tubular handrail	Urgent	Manager, lessee

(continue)	Rectify uneven brick paving	(continue)	Manager, lessee
	Rectify and replace cracked concrete slabs		
	Re-point rubble limestone mass retaining wall in front of the grandstand ( <i>refer to Section 8.2 Maintenance Program</i> )	Urgent & ongoing	
	Re-point rubble limestone walls along John Street ( <i>refer to LHA and Section 8.2 Maintenance Program</i> )		Manager
	Additional revegetation and swales of the area east of the FESA track for capture and treatment of water runoff from the oval. ( <i>refer to LHA</i> )	Short term	
	Remove concrete paving from the base of trees at the main entrance and install tree grates and irrigation. ( <i>refer to LHA</i> )	Urgent & short term	
	Remove small <i>Erythrina indica</i> behind caretaker's house, which is structurally poor given the effects of competition from the larger <i>Erythrina</i> . ( <i>refer to LHA</i> )		
	Remove <i>Leucoxydon rosea</i> on eastern boundary and replace with <i>Melaleuca lanceolata</i> to improve visual appearance and uniformity northern edge of reserve. Consider in-fill planting of <i>Melaleucas</i> ( <i>refer to LHA</i> )		
	Remove dead olive tree on eastern boundary and group of young olive trees ( <i>refer to LHA</i> )		
	Remove dead olive tree on eastern boundary and group of young olive trees ( <i>refer to LHA</i> )		
Paint water tank to reduce its visual obtrusiveness ( <i>refer to LHA</i> )	Short term	Manager and / or lessee	
Upgrade existing playground equipment and provision of park furniture ( <i>refer to LHA</i> )			
Reduce the height of the limestone retaining wall in front of grandstand (to height of 0.9m) or install appropriate balustrade ( <i>refer to LHA</i> )	Urgent		
Foreshore (Policies 7 & 10, Recommendations 4, 11 to 14, 17 and 18, 48)	Establish walking path / track which will become the edge to the turf area and install paths within the foreshore zone to formalise pedestrian access and prevent indiscriminate access ( <i>refer to LHA</i> )	Short to medium term	Manager in consultation with Swan River Trust  <i>(Note – some revegetation work and formalised access points have been undertaken recently – winter 2010 by City of Fremantle and</i>
	Install in-fill planting to existing vegetation using suitable endemic river-edge species. ( <i>refer to LHA</i> )		
	Install low impact facilities which may be appropriate for enjoyment of the foreshore i.e. seating ( <i>refer to LHA</i> )		

(continue)	Hydrozone and in-fill planting of <i>Araucaria heterophylla</i> (refer to LHA)	(continue)	<i>Swan River Trust</i>
	Remove and prune dead Casuarinas (refer to LHA)		
Grandstand – pavilion  (Policies 1 to 10, Recommendations 2, 3, 15, 18, 19 to 24, 27 to 42, 44 to 50)	Undertake comprehensive structural assessment to inspect structural adequacy and condition of: <ul style="list-style-type: none"> <li>• Roof framing,</li> <li>• Roof ties,</li> <li>• Timber columns and beams,</li> <li>• Secondary floor / ceiling framing</li> <li>• Subfloor structures,</li> <li>• Existing damp proof courses,</li> <li>• Timber seating in the pavilion,</li> <li>• External weatherboard cladding.</li> </ul> Provide recommendations for required structural remedial work and associated timeframe to carry out remedial work (Refer to Section 8.1 above)	Urgent or Short Term	Owner, manager with specialist advice from a heritage structural engineer.
	Inspect condition of weatherboard cladding on all elevations	Urgent	Owner, manager in consultation with lessee
	Replace deteriorated weatherboard cladding with new to match existing profiles		
	Check capacity of existing high level stormwater drainage including gutters and downpipes. Upgrade sizes as required.		
	Check capacity of existing low level stormwater drainage including sumps, subsoil drainage and soak wells.  Upgrade sizes and/ or install new replacements as required.		
	Replace deteriorated gutters and downpipes with new to match traditional profiles.		
	Replace deteriorated fascia boards		
	Undertake paint scrapes	Short or medium term when opportunity arises	
	Strip off existing paint layers and reinstate original colour scheme	Short or medium term when opportunity arises	Owner, manager in consultation with lessee
	Reinstate timber balustrades and stairs based on documentary evidence	Short term	
Remove plywood lining to internal face	Short or medium term		

	of the west elevation	when opportunity arises	
Grandstand – change rooms  (Policies 1 to 10, Recommendations 2, 3, 15, 18, 19 to 24, 27 to 42, 44 to 50)	Inspect condition of painted ‘Ripple’ profiled corrugated sheet metal internal lining in the change rooms	Urgent	Owner, manager in consultation with lessee
	Replace deteriorated ‘Ripple’ profiled corrugated sheet metal internal lining with new ‘Mini Orb’ profiled corrugated sheet metal lining		
	Remove existing ‘Custom Orb’ profiled corrugated sheet metal lining in the northern end change rooms	Short term	
	Reinstate timber benches in all change rooms	Short to medium term	
	Undertake paint scrapes for existing timber structures and corrugated metal sheet lining	Urgent or short term when opportunity arises in conjunction with replacement work	
	Reinstate original colour scheme	Urgent or short term when opportunity arises in conjunction with replacement work	
	Investigate opportunities for alteration and / or upgrading of existing facilities i.e. storage, officers, showers, toilets, physiotherapy	Short to medium term, as the need arises	Lessee in consultation with manager and / or owner
Former stables / gymnasium  (Policies 1 to 10, Recommendations 2, 3, 15, 18, 19 to 24, 27 to 42, 44 to 50)	Initiate discussion to ascertain feasibility to adapt and reuse or upgrade or for further additions to existing single storey structure or redevelop	Short term	Lessee in consultation with manager and / or owner
	For further additions to existing single storey structure, undertake structural assessment to inspect structural adequacy and condition of: <ul style="list-style-type: none"> <li>• Roof framing,</li> <li>• Roof ties,</li> <li>• Timber columns and beams,</li> <li>• Secondary floor / ceiling framing</li> <li>• Subfloor structures,</li> <li>• Existing damp proof courses.</li> </ul> Provide recommendations for required structural remedial work and associated timeframe to carry out remedial work		

	<i>(Refer to Section 8.1 above)</i>		
	For redevelopment, initiate master planning for the whole Precinct and / or areas immediately adjacent to the former stables including grandstand	Short term	Lessee in consultation with manager and / or owner
	Investigate existing damp proof course	Urgent	Owner, manager in consultation with lessee
	Remediate as required existing damp proof course	Urgent / short term	
	Replace existing corrugated sheet metal cladding with new cladding in traditional 'Ripple'		
	Inspect and replace deteriorated timber rafters, beams, columns and wall framing		
	Repaint all timber rafters, beams and columns		
Hall  (Policies 1 to 10, Recommendations 2, 3, 15, 18, 19 to 24, 27 to 42, 44 to 50)	Initiate discussion to ascertain feasibility to adapt and reuse or upgrade or for further additions to existing single storey structure or redevelop	Short term	Lessee in consultation with manager and / or owner
	For further additions to existing single storey structure, undertake structural assessment to inspect structural adequacy and condition of: <ul style="list-style-type: none"> <li>• Roof framing,</li> <li>• Roof ties,</li> <li>• Timber columns and beams,</li> <li>• Secondary floor / ceiling framing</li> <li>• Subfloor structures,</li> <li>• Existing damp proof courses.</li> </ul> Provide recommendations for required structural remedial work and associated timeframe to carry out remedial work <i>(Refer to Section 8.1 above)</i>		
	For redevelopment, initiate master planning for the whole Precinct and / or areas immediately adjacent to the hall including grandstand		
	Check capacity of existing high level stormwater drainage including gutters and downpipes. Upgrade sizes as required.	Urgent	
	Check capacity of existing low level stormwater drainage including sumps, subsoil drainage and soak wells.  Upgrade sizes and/ or install new replacements as required.		
	Replace deteriorated gutters and downpipes with new to match existing profiles.		

	Inspect condition of all decorative timber, soffit lining and fascia boards. Replace deteriorated elements to match existing		
	Inspect effectiveness of existing damp proof courses. Remediate as required.	Urgent	
	Inspect condition of render and paint finish for signs of rising damp. Remediate as required.		
Interpretation  (Policies 9 & 10, Recommendations 3 to 10, 43)	Initiate preparation of interpretation plan / strategy	Urgent to short term	Owner, manager in consultation with lessee
	Investigate funding resources i.e. community grants, donations etc. for interpretation and maintenance of interpretive materials	Urgent & ongoing  (continue)	Manager, lessee  (continue)
	Investigate public accessibility to view display on site or inside buildings		
	Interpretation of building fabric and identified elements of significance through conservation works ( <i>Addressed in preceding schedules</i> )	Urgent to long term	Owner, manager, lessee
	Interpretive display or commemorative plaques for significant individuals	Short term & ongoing	Manager, lessee
	Undertake archiving of sports memorabilia, photographs, records, other artefacts	Urgent & ongoing	Lessee in consultation with manager and / or local library

### 8.3.2 Cost Estimates for Conservation Work

The following schedule is an estimate only and has been prepared as guidance for future planning. The schedule is not an alternative to a detailed builder's quotation. The costs have been estimated through the application of professional experience and the knowledge of projects of similar scale and complexity.

The estimated costs have been prioritised and grouped according to relevant keys areas and / or buildings. The costs have been calculated based on approximate floor and wall areas and provided as a cost range rather than measurements of linear meters. All estimated costs exclude GST and preliminaries.

Priority	Key areas	Recommended Work	Estimated costs
Urgent	Site	Upgrading to BCA and Australian Standards compliances: <ul style="list-style-type: none"> <li>• Security</li> <li>• fire prevention</li> <li>• electrical</li> </ul>	\$30,000 to \$40,000
		Rectify trip & safety hazards i.e. paving, provide balustrades, handrails	\$3,000 to \$4,000
		Re-point rubble limestone walls (up to 50% of retaining wall)	
		Resurface existing car park (all)	\$10,000 to \$20,000
	Grandstand	Structural assessment	\$10,000 to \$15,000
		Check capacity of existing high and low level stormwater drainage. Upgrade sizes and/ or install new replacements as required. (all)	\$30,000 to \$40,000
		Replace all deteriorated timber weatherboard cladding and fascia boards (up to 20% of external wall)	\$4,000 to \$6,000
		Inspect and replace all deteriorated 'Ripple' profiled corrugated sheet metal internal lining with new 'Mini Orb' profiled corrugated sheet metal lining (up to 80% of internal walls)	\$15,000 to \$20,000
	Former stables / gymnasium	Check capacity of existing high and low level stormwater drainage. Upgrade sizes and/ or install new replacements as required (all)	\$20,000 to \$30,000
		Replace existing corrugated sheet metal cladding with new cladding in traditional 'Ripple' (all)  Inspect and replace deteriorated timber elements. Repaint timber structures (up to 50% of external wall)  Inspect and remediate existing damp proof course (all)	\$15,000 to \$25,000

Urgent	Hall	Check capacity of existing high and low level stormwater drainage. Upgrade sizes and/ or install new replacements as required. (all)	\$30,000 to \$40,000
		Inspect condition of all decorative timber, soffit lining and fascia boards. Replace deteriorated elements to match existing (up to 50% of external wall)	\$5,000 to \$8,000
		Inspect effectiveness of existing damp proof courses. Remediate as required.  Inspect condition of render and paint finish for signs of rising damp. Remediate as required.	\$3,000 to \$5,000
Short & Medium term	Site & Foreshore	Under pruning, dead wooding of trees, removal of trees	\$2,000 to \$3,000
		Upgrade existing playground equipment	\$50,000 to \$70,000
		Provision of park furniture i.e. bench seating, bins, bicycle racks	\$15,000 to \$20,000
		Paint water tank	\$2,000 to \$3,000
		Establish walking paths / tracks	\$30,000 to \$50,000
		In-fill planting	\$20,000 to \$70,000
	Grandstand	Undertake paint scrapes, strip off existing paint layers and reinstate original colour scheme	\$10,000 to \$20,000
		Reinstate timber balustrades and stairs	\$15,000 to \$20,000
		Reinstate timber benches (15 units)	\$3,000 to \$5,000
		Feasibility study to upgrade existing facilities	\$5,000 to \$8,000
	Former stables / gymnasium	Feasibility study to adapt and reuse or upgrade or for further additions to existing single storey structure or redevelop	\$5,000 to \$8,000
		Structural assessment	\$5,000
Hall	Feasibility study to adapt and reuse or upgrade or for further additions to existing single storey structure or redevelop	\$5,000 to \$8,000	
Long term	Interpretation	Preparation of interpretation plan / strategy	\$10,000 to \$20,000
		Interpretive displays or commemorative plaques	\$1,500 to \$3,000



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Comments received from members of North Fremantle Associated Clubs and City of Fremantle Planning and Development, internal and external heritage consultants, Community Development Unit, City of Fremantle Parks and Landscaping Unit.

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## 10.0 APPENDICES

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### **Appendix A – The Burra Charter**

The Burra Charter is available online from Australia ICOMOS at:  
[www.icomos.org/australia/](http://www.icomos.org/australia/).

### **Appendix B – Criteria of Cultural Heritage Significance**

#### **For Assessment of Places for Entry into the Register of Heritage Places (Heritage Council of WA)**

The Criteria for Assessment are available online from the Heritage Council of Western Australia's publications page at:  
[www.heritage.wa.gov.au/pdfs/pubList/section2/Assess\\_crit.pdf](http://www.heritage.wa.gov.au/pdfs/pubList/section2/Assess_crit.pdf)

