



Agenda Attachments

Planning Committee

Wednesday, 1 July 2020, 6.00 pm

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**PC2007 - 1 LOCAL HERITAGE SURVEY AND HERITAGE LIST – ANNUAL
UPDATE 2020**

**ATTACHMENT 1 – SUBDIVIDED PROPERTIES RECOMMENDED TO BE
REMOVED**

Heritage places recommended for removal from the Heritage List and reclassification to Historic Record Only on the Local Heritage Survey due to changes that have occurred through subdivision of the originally listed parent lot.

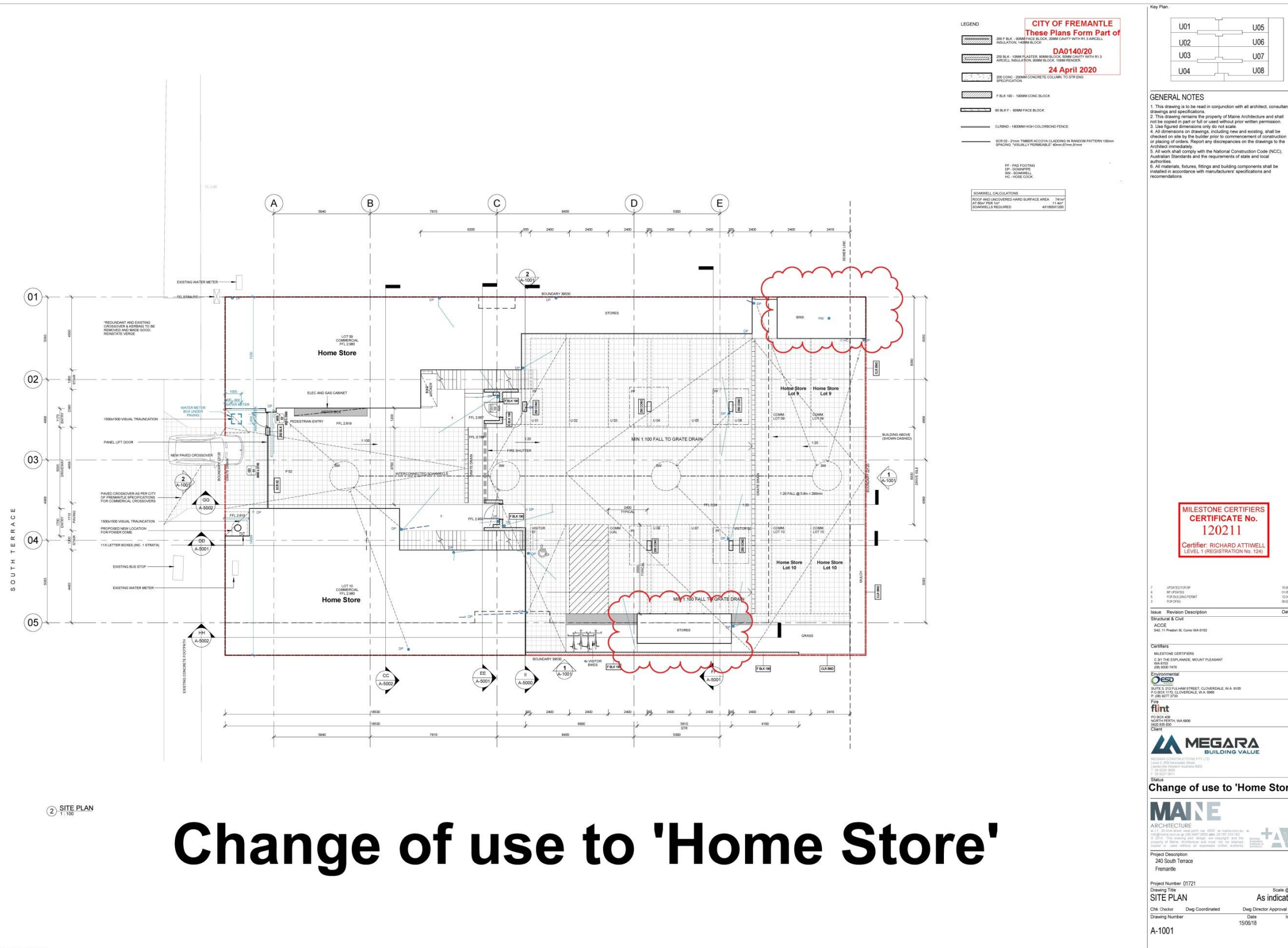
NOTE: the heritage listed parent place is in brackets and is not to be altered

1. 2, 3, 4, 5, 6, 7 & 8/31 Harvest Road (House, 31 Harvest Road)
2. Strata lot 2, 11A John Street, North Fremantle (House, 11 John Street)
3. 13A Grey Street (House, 13 Grey Street)
4. 15 Jackson Street & 38A Pearse Street (House, 13 Jackson Street)
5. 14A McLaren Street (House, 14 McLaren Street)
6. 158 Marine Terrace (House, 156 Marine Terrace)
7. 14 Hope Street (House, 16 Hope Street)
8. 27A Swanbourne Street (Shop & House, 27 Swanbourne Street)
9. 29A Solomon Street (House, 14 Fothergill)
10. 3A Curedale Street (House, 3 Curedale Street)
11. 32A Samson Street (House, 32 Samson Street)
12. 1B Shuffrey Street (House, 33 Quarry Street)
13. 34A Chester Street (House, 34 Chester Street)
14. 34A Herbert Street (House, 34 Herbert Street)
15. 15 Wesley Street (Duplex, 48 Lilly Street)
16. 15A Wesley Street (Duplex, 50 Lilly Street)
17. 184 High Street (House, 5 Ord Street)
18. 1-11/100 South Street (House, 102 South Street)
19. 57A Ellen Street (House, 57 Ellen Street)
20. 62A South Street (House, 62 South Street)
21. 82A & 82B South Street (House, 82 South Street)
22. 8A Stevens Street (House, 8 Stevens Street)
23. 9A & 9B McCleery Street (House, 9 McCleery Street)
24. 97A Solomon Street (House, 97 Solomon Street)
25. 16 Agnes Street (House, 23 Martha Street)
26. 133A Hampton Road (House, 133 Hampton Road)
27. 21 Davies Street (House, 14 Curedale Street)

28. 14A Scott Street (House & Limestone Feature(s), 14 Scott Street)
29. 176A Hampton Road (House, 176 Hampton Road)
30. 23A Joslin Street & 27A Collick Street (House, 23 Joslin Street)
31. 21A Lefroy Road (House, 21 Lefroy Road)
32. 1A Chester Street (House, 23 Lefroy Road)
33. 24A Daly Street (House, 24 Daly Street)
34. 3A & 5 Jackson Street (House, 3 Jackson Street)
35. 32A Samson Street (House, 32 Samson Street)
36. 43A Stevens Street (House, 43 Stevens Street)
37. 45A Stevens Street (House, 45 Stevens Street)
38. 49A & 49B Daly Street (House, 49 Daly Street)
39. 5A Grey Street (House, 5 Grey Street)
40. 54A Snook Crescent (House, 54 Snook Crescent)
41. 60A Rennie Crescent (House, 60 Rennie Crescent)
42. 7A Seaview Street (House, 7 Seaview Street)
43. 7 Comben Place (Duplex, 7 Jackson Street)
44. 124A Forrest Street (House, 124 Forrest Street)
45. 3B McCleery Street (House, 3 McCleery Street)
46. 167A Edmund Street (House, 167 Edmund Street)
47. 33A Lefroy Road (Shop & House (Fmr), 167 Hampton Road)
48. 2/26 & 3/26 Douro Road (House, 26 Douro Road)
49. 2A Lynch Place (House, 2 Lynch Place)
50. 47A Daly Street (House, 47 Daly Street)
51. 8 Beard Street (House, 20 Moran Street)
52. 104 South Street & 108 South Street (House, 106 South Street)
53. 2-4/87 Stirling Highway (House, 87 Stirling Highway)
54. 1-10/46 South Street (House, 48 South Street)
55. 33A Central Avenue (House, 33 Central Avenue)
56. 2 & 4 Ameling Rise (House, 59 Hampton Road)
57. 2-6/4 John Street (House, 4 John Street)
58. 14 & 14A Martha Street (House, 172 Hampton Road)
59. 96 South Street (House, 128 Solomon Street)
60. 4A & 4B John Street (Terrace, 6 Passmore Avenue & House, 5 Passmore Avenue)
61. Shed (Demolished), 38 Curedale Street (40 properties)
62. Site of Former Quarry, 73 Lefroy Road (114 properties)

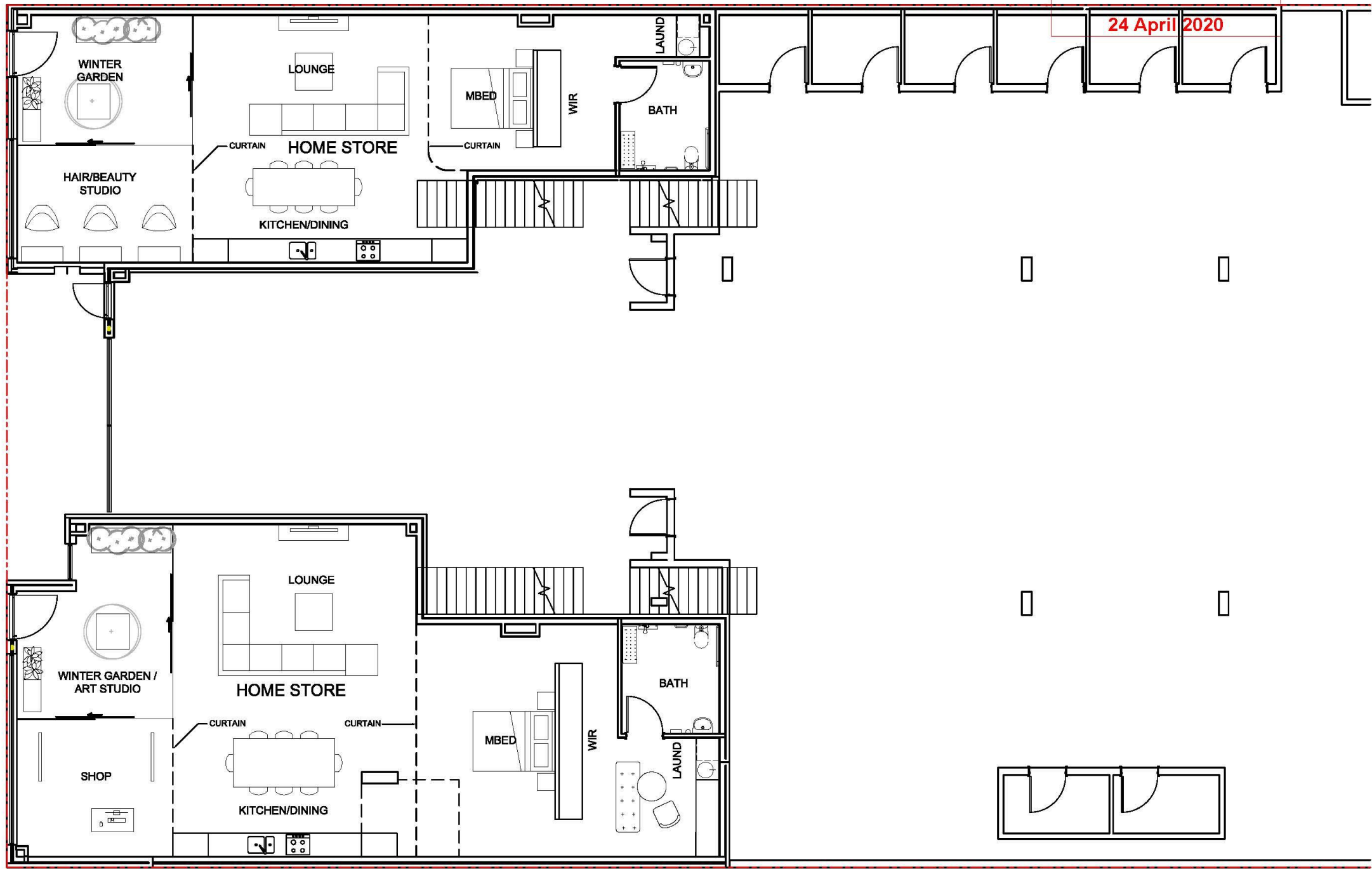
Note: Site of Market Gardens (Fmr) at Butterworth Place (42 properties) and 2A Nelson Street also recommended for deletion but these have already been assessed in the main body of the report because they were nominated for review by owners or officers.

PC2007 - 2 SOUTH TERRACE, UNITS 1 AND 2, NO. 240 (STRATA LOTS 9 AND 10), SOUTH FREMANTLE - CHANGE OF USE TO HOME STORE (TG DA0140/20)
Agenda Attachment 1 – Development Plans



CITY OF FREMANTLE
These Plans Form Part of
DA0140/20

24 April 2020



PC2007 - 3 STIRLING HIGHWAY, NO. 1/87 (LOT 1 SSP 40897), NORTH FREMANTLE - ADDITIONS AND ALTERATIONS INCLUDING ROOF AND PERGOLA TO UPPER FLOOR DECK OF EXISTING SINGLE HOUSE – (NB DA0095/20)

Agenda attachment 1 – Amended Development Plans

PROPOSED EXTENSION FOR JK FORD SUPERANNUATION
FUND PTY LTD AT LOT 1/87 STIRLING HIGHWAYCITY OF FREMANTLE
These Revised Plans Form Part of

DA0095/20

27 May 2020

DESIGN STATEMENT CLASS 1A – COMPLIANCE WITH NATIONAL CONSTRUCTION CODE (NCC) - BUILDING CODE AUSTRALIA (BCA) VOLUME 2 - 2015
READ IN ASSOCIATION WITH ATTACHED PLANS AND PROJECT SPECIFICATIONS – (BE ADVISED SOME CLAUSES LISTED MAY NOT BE RELEVANT TO THIS PROJECT)

SITE PREPARATION EARTHWORKS, SITE PREPARATION AND EXCAVATION SHALL BE IN ACCORDANCE WITH THE BCA PART 3.1, 3.2 AND AS2870 WITH ANY EXCAVATION OR FILLING SET BACK FROM THE BOUNDARY OR ADEQUATELY RETAINED. ANY FILL PLACED ON SITE SHALL COMPLY WITH BCA TABLE 3.1.1.1 AND WHERE FILL IS USED TO SUPPORT FOOTINGS OR SLABS, IT SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 3.2 AND AS2870. TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH THE BCA PART 3.1.3 AND AS3660. PROVIDE A DURABLE NOTICE, PERMANENTLY FIXED TO THE BUILDING, IN A PROMINENT LOCATION SUCH AS A METER BOX OR THE LIKE. CONCRETE FOOTING AND SLAB CONSTRUCTION INCLUDING VAPOR BARRIER, SHALL BE IN ACCORDANCE WITH THE BCA PART 3.2 AND AS2870. BUILDING STRUCTURE ALL PROPRIETARY PRODUCTS/SYSTEMS INCORPORATED IN THE BUILDING WORKS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S TECHNICAL SPECIFICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO OBTAIN ALL NECESSARY TECHNICAL SPECIFICATIONS FOR THE PRODUCT/SYSTEMS COMPLIANT INSTALLATION. MASONRY, MASONRY ACCESSORIES, WEATHERPROOFING OF MASONRY ETC, SHALL BE IN ACCORDANCE WITH THE BCA PART 3.3, AS3700, OR AS 4773. SELECTION AND INSTALLATION OF LINTELS SUPPORTING MASONRY SHALL BE IN ACCORDANCE WITH THE BCA PART 3.3.3 AND AS3700, AS4773. STRUCTURAL STEEL MEMBERS THAT ARE NOT BUILT INTO A MASONRY WALL MUST BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH BCA PART 3.4.4 CORROSION PROTECTION TABLE 3.4.4.2 –PROTECTIVE COATINGS FOR STEELWORK. WHERE MANUFACTURED TIMBER TRUSSES ARE USED, THEY ARE TO BE INSTALLED IN ACCORDANCE WITH DISTRIBUTORS' SPECIFICATIONS AND AS4440 – INSTALLATION OF TIMBER ROOF TRUSSES. ALL TIMBER FRAMING AND ROOF TRUSSES (MATERIALS, CONSTRUCTION, BRACING AND TIE-DOWNS) SHALL BE IN ACCORDANCE WITH THE BCA PART 3.4.3 AND AS1684 RESIDENTIAL TIMBER FRAMING CODE, AS4440 INSTALLATION OF TIMBER ROOF TRUSSES. ALL TIMBER USED IN EXTERNAL LOCATIONS SHALL BE OF A SUITABLE DURABILITY / TREATED APPROPRIATE TO ITS USE IN ACCORDANCE WITH AS1684. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE BCA PART 3.4.2, PART 3.4.4 AND AS4100, AS4600, NASH RESIDENTIAL TO LOW RISE STEEL FRAMING. ALL EXPOSED STRUCTURAL STEEL MEMBERS WITHIN 1KM OF THE COAST AND IN ALL (HIGH CORROSIVE) INDUSTRIAL AREAS SHALL BE TREATED AGAINST CORROSION IN ACCORDANCE WITH BCA PART 3.4.4 AND TABLE 3.4.4.2 AND TABLE 3.3.3.2 ALL GLAZING AND WINDOWS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE BCA PART 3.6 AND AS1288, AS2047. ROOF STRUCTURE SHALL BE TIED DOWN WITH METAL STRAPS OR STEEL RODS FIXED OR BUILT INTO WALLS IN ACCORDANCE WITH THE AS3700, AS4773 AND AS1684. SELECTION AND INSTALLATION OF FLASHING, GUTTERS, PENETRATIONS AND DOWN PIPES, INCLUDING SIZE OF GUTTERS AND DOWNPIPES, SHALL BE IN ACCORDANCE WITH THE BCA PART 3.5.1, 3.5.2 AND AS3500.3. NOTE -THE MAXIMUM SPACING BETWEEN DOWN PIPES SHALL NOT EXCEED TWELVE (12) METERS.	METAL ROOF SHEETING SHALL BE INSTALLED, FIXED AND FLASHED IN ACCORDANCE WITH BCA PART 3.5 AND AS3500.3 REQUIREMENTS. MANUFACTURER'S TECHNICAL SPECIFICATIONS ARE TO BE CONSULTED WHEN SELECTING PRODUCTS TO ENSURE ALL PRODUCT SPECIFICATIONS HAVE BEEN MET, INCLUDING COMPLIANCE WITH PROTECTION FROM CORROSION IN ACCORDANCE WITH BCA TABLE 3.5.1.1A- ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING REQUIREMENTS. ROOF TILING SHALL BE INSTALLED, FIXED AND FLASHED IN ACCORDANCE WITH THE BCA PART 3.5.1.2. DISPOSAL OF STORMWATER SHALL BE DESIGNED IN ACCORDANCE WITH THE BCA PART 3.1.2, 3.5.2 AND AS3500.3 AND SHALL DISCHARGE CLEAR OF THE BUILDING AND ALL STRUCTURAL FOUNDATIONS. STORMWATER SHALL BE PREVENTED FROM FLOWING BACK INTO THE BUILDING LIFE SAFETY WALLS REQUIRED FOR FIRE SEPARATION OF CLASS 1 BUILDINGS SHALL COMPLY WITH THE BCA PART 3.7.1. FIREWALLS SHALL ACHIEVE AN FRL OF 60/60/60 AND SHALL BE CARRIED UP TO THE UNDERSIDE OF THE NON-COMBUSTIBLE ROOF COVERING. FIREWALLS SHALL NOT BE CROSSED BY TIMBER / COMBUSTIBLE ELEMENTS EXCEPT FOR ROOF BATTENS <50MMX75MM. ANY GAP BETWEEN THE TOP OF THE FIREWALL AND THE NON-COMBUSTIBLE ROOF COVERING SHALL BE PACKED WITH NON-COMBUSTIBLE MINERAL FIBRE. INTERCONNECTED HARD WIRED SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILINGS LOCATED BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINING DWELLING AND WHERE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY; AND IN ANY OTHER STOREY NOT CONTAINING BEDROOMS IN ACCORDANCE WITH THE BCA PART 3.7.2 AND AS3786. HEALTH AND AMENITY WET AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE BCA PART 3.8.1 AND AS3740. MINIMUM CEILING HEIGHTS AND HEAD CLEARANCES SHALL BE IN ACCORDANCE WITH THE BCA PART 3.8.2. EVERY SANITARY COMPARTMENT, BATHROOM AND LAUNDRY SHALL BE VENTILATED IN ACCORDANCE WITH THE BCA PART 3.8.5. THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT SHALL EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2M BETWEEN THE CLOSET PAN AND HANGING SIDE OF THE DOOR WITHIN THE SANITARY COMPARTMENT (MEASURED FROM THE DOORS CLOSED POSITION TO THE 90 DEGREE OPENING POINT, IN THE ARCH OF THE SWING OF THE OPENING DOOR. A CLOSET PAN LOCATED BEHIND THE OPEN DOOR LEAF AT 90 DEGREES IS COMPLIANT WITHOUT MODIFICATION) BCA PART 3.8.3.3. SAFE MOVEMENT AND ACCESS STAIRS SHALL BE IN ACCORDANCE WITH THE BCA PART 3.9.1: NOT MORE THAN 18 'RISERS' IN EACH FLIGHT TREADS SHALL HAVE A NON-SLIP FINISH / NON-SKID STRIP NEAR EDGE OF NOSING THE 'GOING' OF ALL STRAIGHT TREADS SHALL BE CONSISTENT THROUGHOUT THE SAME FLIGHT NOT MORE THAN 3 WINDERS IN LIEU OR A QUARTER LANDING OR 6 WINDERS IN A HALF LANDING 'RISER' AND 'GOING' DIMENSIONS SHALL COMPLY WITH: MAX. 'RISER' (R) 190MM; MIN. 'RISER' 115MM MAX. 'GOING' (G) 355MM; MIN. 'GOING' 240MM (2R+G) MAX. 700MM; MIN. 550MM. A LANDING IS REQUIRED WHERE A DOORWAY OPENS TO A CHANGE IN LEVEL GREATER THAN 570MM OR THREE OR MORE STEPS (MINIMUM SIZE OF LANDING 750MM) IN ACCORDANCE WITH THE BCA PART 3.9.1.	A BARRIER AND HANDRAIL SHALL BE PROVIDED IF ANY LEVEL IS MORE THAN 1M ABOVE THE SURFACE LEVEL BELOW, WITH A MIN. HEIGHT ABOVE FINISHED FLOOR LEVEL (FFL) OF 1M OR 865MM ABOVE NOSING LINE ON THE STAIR. THE MAX. 'GAP' SHALL NOT PERMIT A 125MM SPHERE TO PASS THROUGH THE BARRIER OR OPEN STAIR TREADS IN ACCORDANCE WITH THE BCA PART 3.9.2. WIRE BALUSTRADES SHALL COMPLY WITH CONSTRUCTION, TENSION AND DEFLECTION REQUIREMENTS OF THE BCA PART 3.9.2. WHERE FLOORS ARE MORE THAN 4M ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE / BARRIER BETWEEN 150MM AND 760MM ABOVE THE FINISHED FLOOR LEVEL SHALL NOT FACILITATE CLIMBING IN ACCORDANCE WITH THE BCA PART 3.9.2. GLAZED BALUSTRADES SHALL BE IN ACCORDANCE WITH THE BCA PART 3.9.2 AND AS1288. PROTECTION OF OPENABLE WINDOWS – A BEDROOM WINDOW MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE THE SURFACE BELOW. WHERE THE WINDOW IS LESS THAN 1.7M ABOVE THE BEDROOM FFL A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING EG-SCREEN OR LOCK MUST NOT PERMIT A 125MM SPHERE TO PASS THROUGH THE OPENING IN ACCORDANCE WITH BCA PART 3.9.2.5. RETAINING WALLS ALL RETAINING WALLS TO BE INSTALLED IN ACCORDANCE WITH ENGINEER'S / MANUFACTURER'S SPECIFICATIONS AND ANY DEVIATION FROM THE CONDITIONS TO BE CONFIRMED WITH THE ENGINEER. CLARIFICATION AS TO THE SUITABILITY OF A SYSTEM FOR A SPECIFIC SITE EG UNUSUAL MOISTURE CONDITIONS CAUSED BY DRAINS OR THE LIKE, SHOULD BE SOUGHT FROM THE ENGINEER / MANUFACTURER, AS REQUIRED.
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GENERAL NOTES	REV	DETAILS	DATE	Project	DRAWING TITLE
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	D	DA 3 REVIEW	16/01/2020		
	E	ISSUED FOR COMMENT	04/02/2020		
	F	ISSUED FOR COMMENT	05/02/2020		
	G	FOR CONSTRUCTION	13/02/2020		
	H	FOR INFORMATION	12/03/2020		
	I	AMEND ROOF AREA	29/05/2020		
				NORTH FREMANTLE WA 6159	
					DATE 26/05/2020
					DRAWN BY JT
					PROJECT #
					DRAWING #
					SCALE 1 : 100 @ A3
					CHECKED KF
					REVISION 1
					A001





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THE AUTHORIZED REQUIREMENTS OF LOCAL AUTHORITIES AND OTHER STATUTORY AUTHORITIES ARE TO BE COMPLIED WITH.

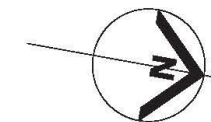
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--- CONTOUR LINES

EXISTING BUILD AREA	91.8 m ²
NEW BUILD AREA:	
_GROUND FLOOR	60.6 m ²
_1ST FLOOR	65.5 m ²
_1ST FLOOR BALCONY	21.6 m ²
_PROPOSED BUILD AREA	207.7 m ²
SITE AREA	365 m ²
OPENSOURCE	65.26%



PLANNING ZONE:
MIXED USE_R35/R40

1 01 SITE PLAN
1 : 200

GENERAL NOTES		REV DETAILS DATE		Project 1/87 STIRLING HWY NORTH FREMANTLE WA 6159	DRAWING TITLE SITE PLAN			
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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE AND CONFIRM QUANTITIES BEFORE STARTING ANY WORK OR SHOP DRAWINGS. DO NOT SCALE OFF DRAWINGS		D	DA 3 REVIEW	16/01/2020	26/05/2020	JT		
		E	ISSUED FOR COMMENT	04/02/2020	SCALE	CHECKED	REVISION	A002
		F	ISSUED FOR COMMENT	05/02/2020	As indicated @ A3	KF	I	
		G	FOR CONSTRUCTION	12/02/2020				
		H	FOR INFORMATION	12/03/2020				
		I	AMEND ROOF AREA	26/05/2020				



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REV	DETAILS	DATE
C	DA VARIATION ISSUE	09/10/2019
D	DA 3 REVIEW	16/10/2020
E	ISSUED FOR COMMENT	04/02/2020
F	ISSUED FOR COMMENT	05/02/2020
G	FOR CONSTRUCTION	12/02/2020
H	FOR INFORMATION	12/03/2020
I	AMEND ROOF AREA	26/05/2020

Project

1/87 STIRLING HWY

NORTH FREMANTLE WA 6159

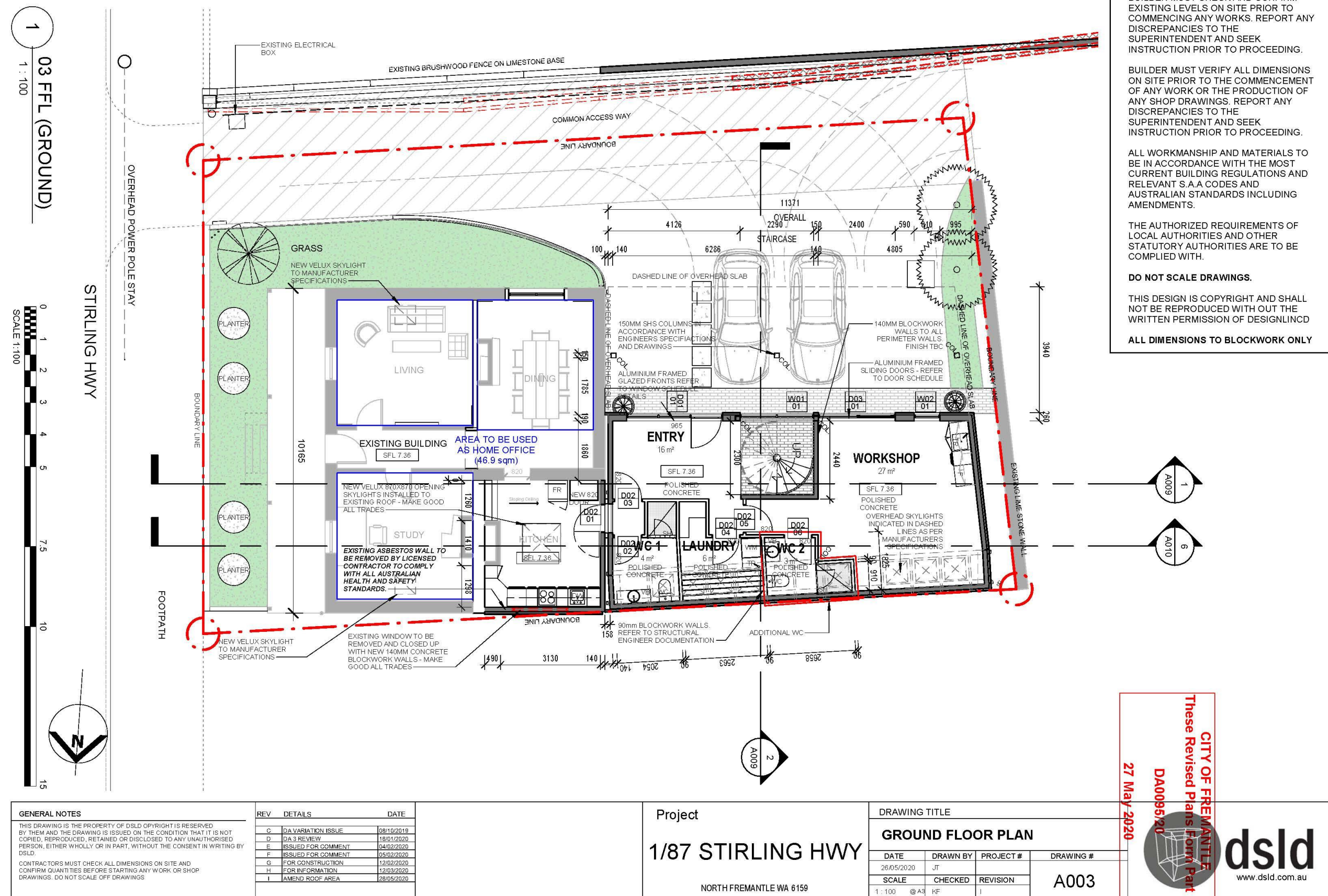
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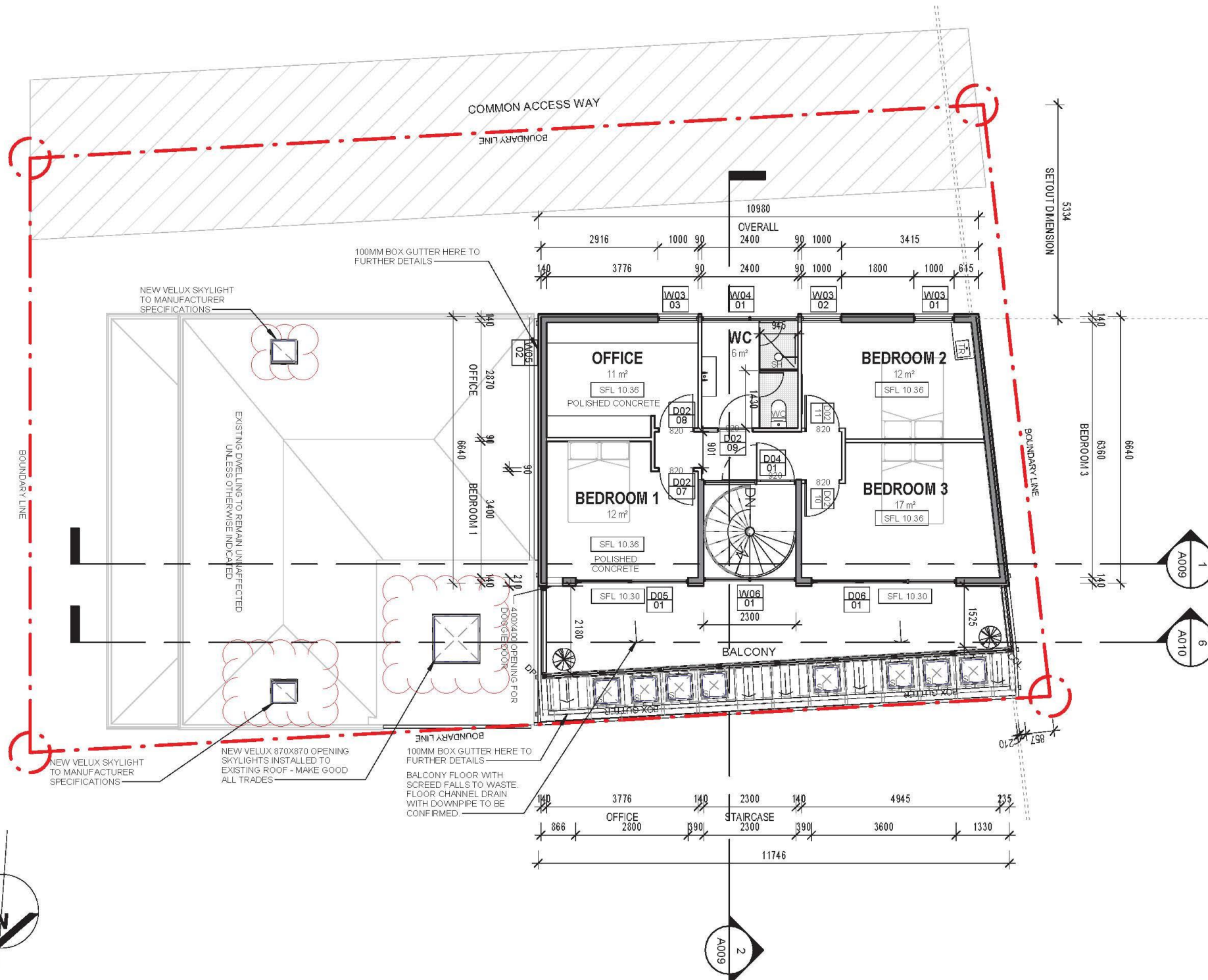
SITE SURVEY

DATE	DRAWN BY	PROJECT #	DRAWING #
26/05/2020	JT		
SCALE	CHECKED	REVISION	A002.1
1:200 @ A3	KF	J	

dsld

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1
A00404 FFL (FIRST) - DA
SCALE 1:100STIRLING HWY
SCALE 1:100
0 1 2 3 4 5 7.5 10 15

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REV	DETAILS	DATE
C	DA VARIATION ISSUE	08/10/2019
D	DA 3 REVIEW	19/01/2020
E	ISSUED FOR COMMENT	04/02/2020
F	ISSUED FOR COMMENT	05/02/2020
G	FOR CONSTRUCTION	12/02/2020
H	FOR INFORMATION	12/03/2020
I	AMEND ROOF AREA	28/05/2020

Project
1/87 STIRLING HWY
NORTH FREMANTLE WA 6159

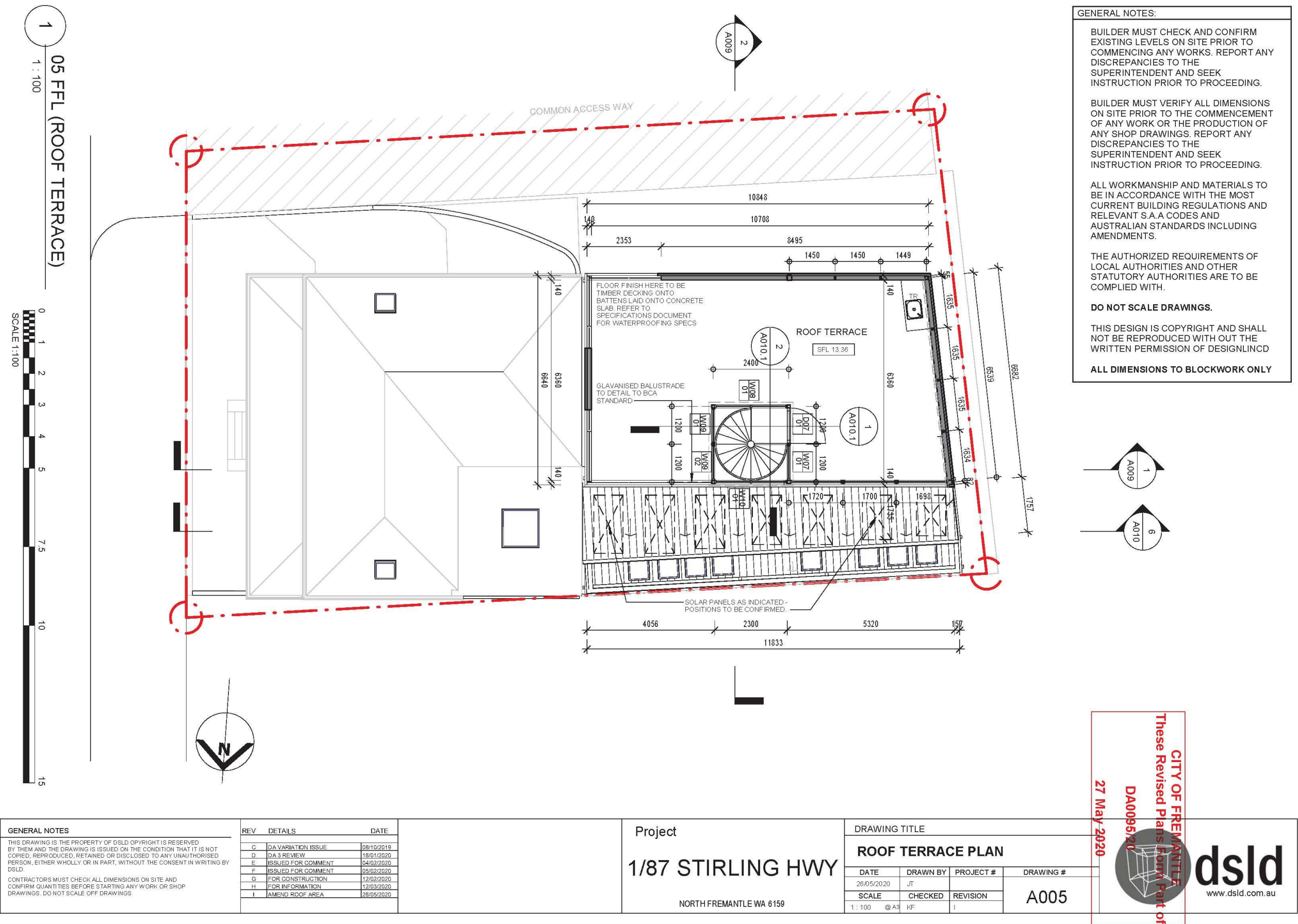
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FIRST FLOOR PLAN

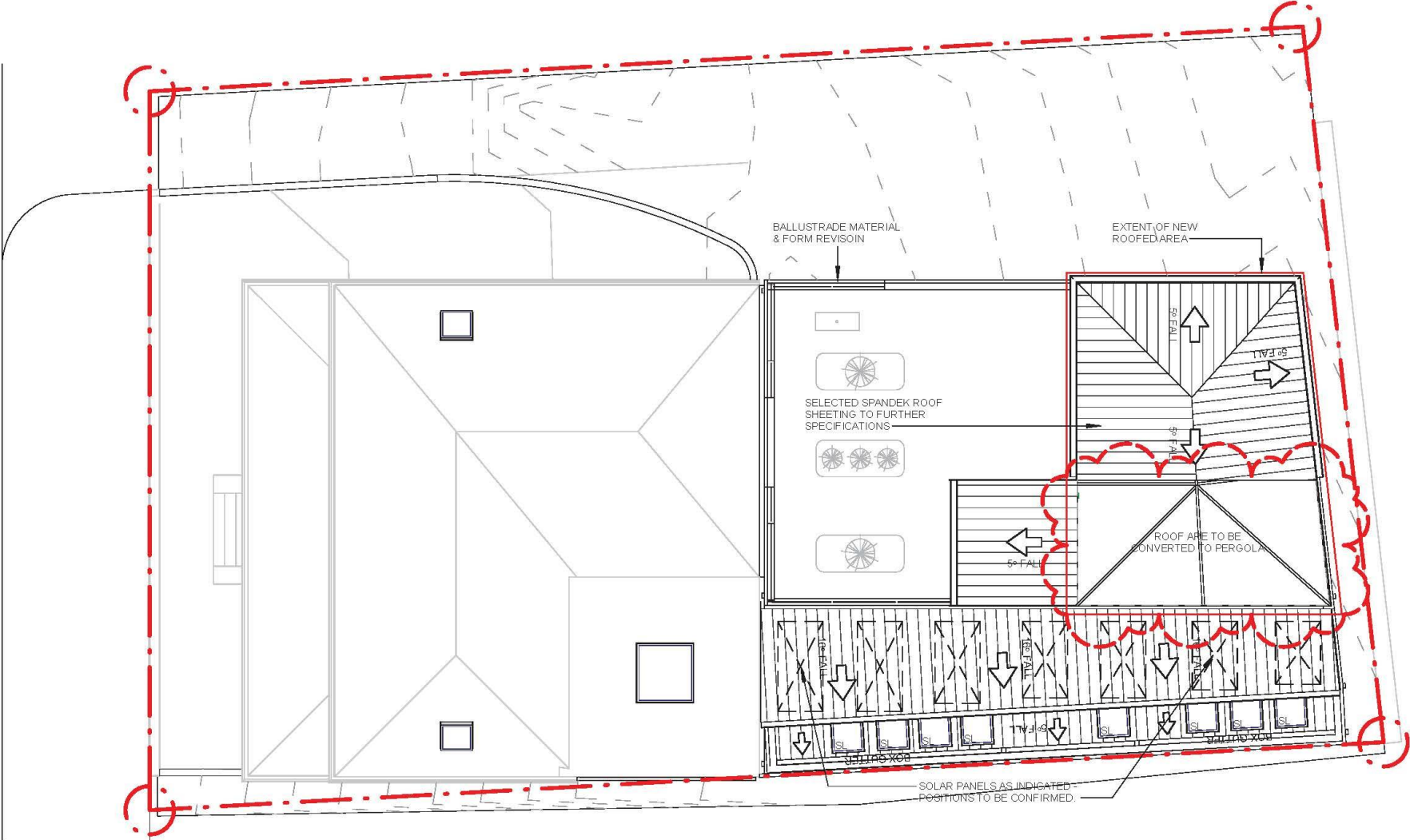
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26/05/2020	JT		A004
SCALE	CHECKED	REVISION	
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These Revised Plans Form Part of
DA009570
27 May 2020

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1
06 ROOF PLAN
1 : 100



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	C	DA VARIATION ISSUE	08/10/2019	DATE	DRAWN BY	PROJECT #	DRAWING #
	D	DA 3 REVIEW	18/01/2020	26/05/2020	JT		
	E	ISSUED FOR COMMENT	04/02/2020	SCALE	CHECKED	REVISION	A006
	F	ISSUED FOR COMMENT	05/02/2020	1 : 100	@ A3	KF	
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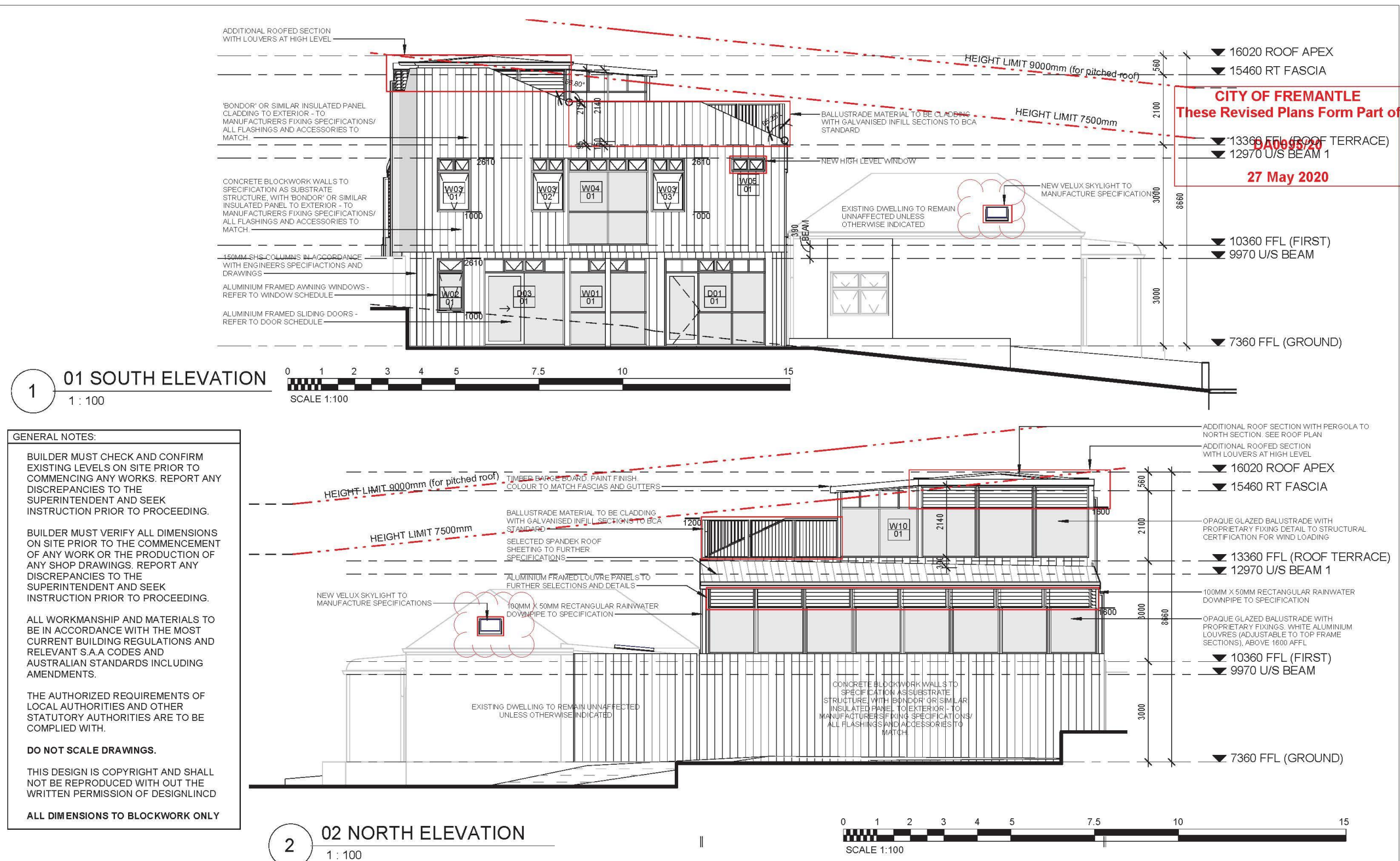
CITY OF FREMANTLE
These Revised Plans Form Part of
DA0095/20
27 May 2020

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27 May 2020

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	D	DA 3 REVIEW	16/01/2020		DATE	DRAWN BY	PROJECT #	DRAWING #		
	E	ISSUED FOR COMMENT	04/02/2020		26/05/2020	JT		A006.1		
	F	ISSUED FOR COMMENT	05/02/2020		SCALE	CHECKED	REVISION			
	G	FOR CONSTRUCTION	12/02/2020		1:200	@ A3	KF			I
	I	AMEND ROOF AREA	26/05/2020							



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REV	DETAILS	DATE
C	DA VARIATION ISSUE	08/10/2019
D	DA 3 REVIEW	16/01/2020
E	ISSUED FOR COMMENT	04/02/2020
F	ISSUED FOR COMMENT	05/02/2020
G	FOR CONSTRUCTION	12/02/2020
H	FOR INFORMATION	12/03/2020
I	AMEND ROOF AREA	26/05/2020

Project

1/87 STIRLING HWY

NORTH FREMANTLE WA 6159

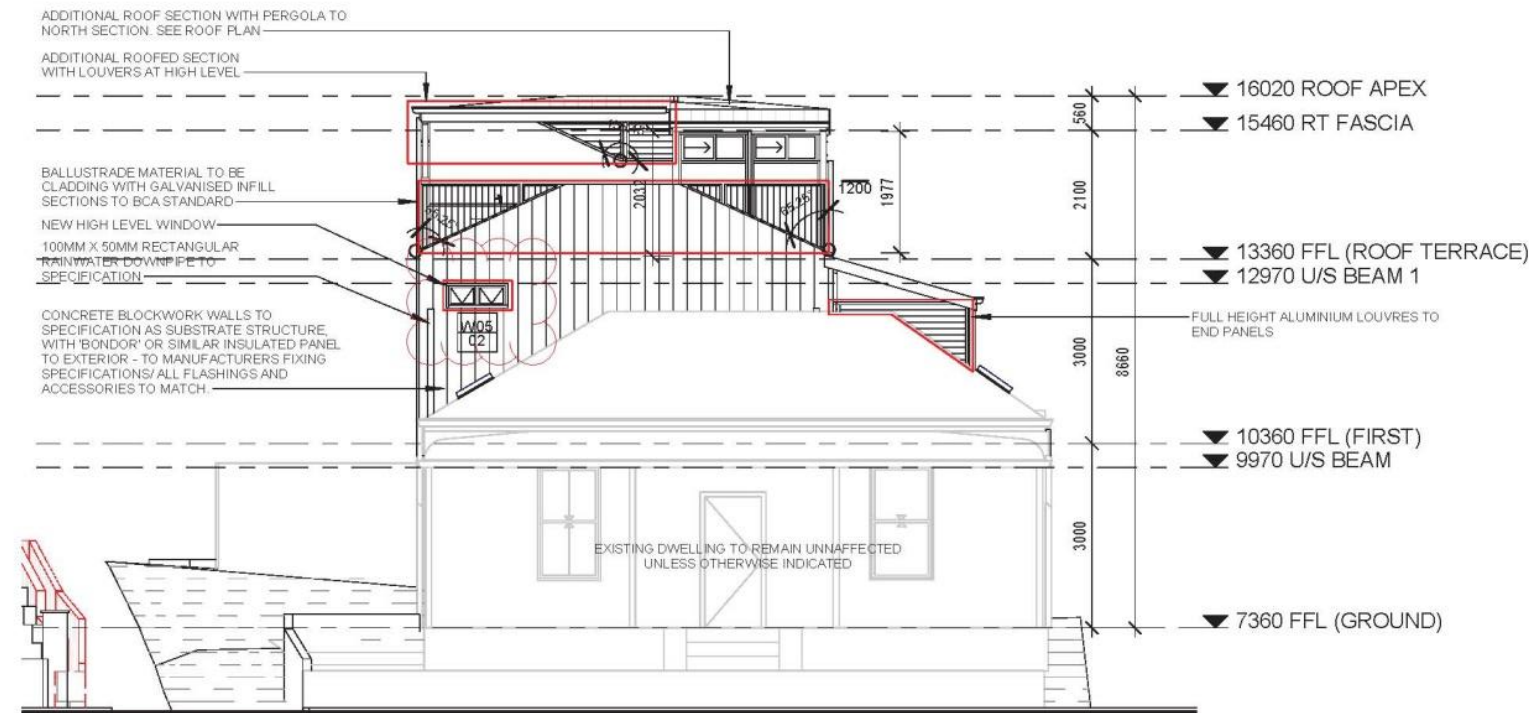
DRAWING TITLE

NORTH & SOUTH ELEVATIONS

DATE	DRAWN BY	PROJECT #	DRAWING #
26/05/2020	JT		
SCALE	CHECKED	REVISION	
1:100	@ A3	KF	1

A007





GENERAL NOTES:

BUILDER MUST CHECK AND CONFIRM EXISTING LEVELS ON SITE PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT AND SEEK INSTRUCTION PRIOR TO PROCEEDING.

CITY OF FREMANTLE

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TABLE 1

27 May 2020

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE MOST CURRENT BUILDING REGULATIONS AND RELEVANT S.A.A CODES AND AUSTRALIAN STANDARDS INCLUDING AMENDMENTS.

THE AUTHORIZED REQUIREMENTS OF LOCAL AUTHORITIES AND OTHER STATUTORY AUTHORITIES ARE TO BE COMPLIED WITH.

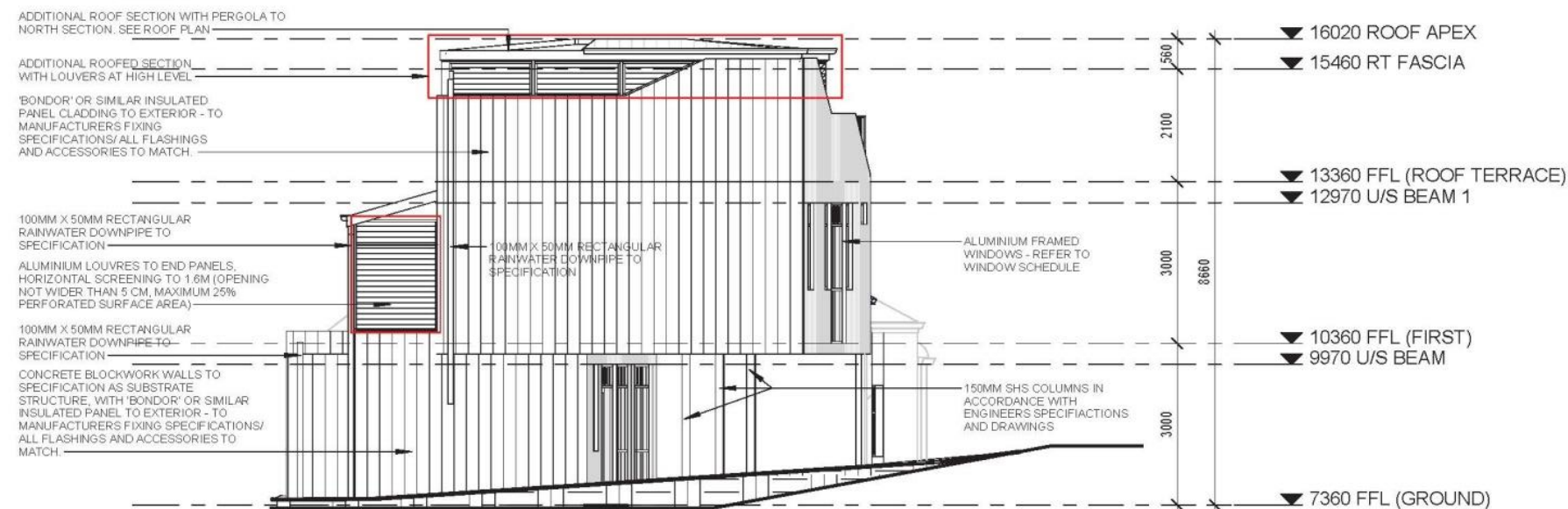
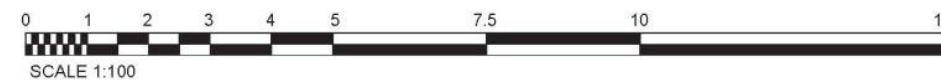
DO NOT SCALE DRAWINGS.

THIS DESIGN IS COPYRIGHT AND SHALL NOT BE REPRODUCED WITH OUT THE WRITTEN PERMISSION OF DESIGNINCD

ALL DIMENSIONS TO BLOCKWORK ONLY

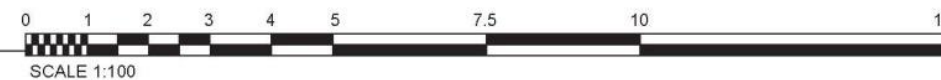
2 03 EAST ELEVATION

1:100



1 04 WEST ELEVATION

1:100



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REV	DETAILS	DATE
C	DA VARIATION ISSUE	08/10/2019
D	DA 3 REVIEW	16/01/2020
E	ISSUED FOR COMMENT	04/02/2020
F	ISSUED FOR COMMENT	05/02/2020
G	FOR CONSTRUCTION	12/02/2020
H	FOR INFORMATION	12/03/2020
I	AMEND ROOF AREA	26/05/2020

Project

1/87 STIRLING HWY

NORTH FREMANTLE WA 6159

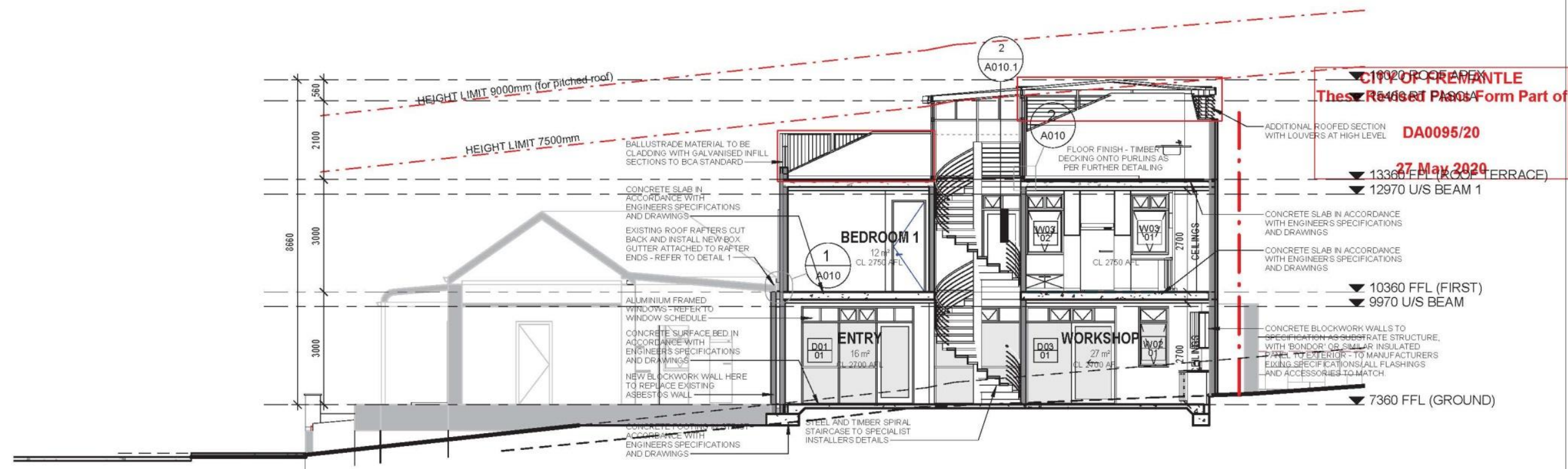
DRAWING TITLE

EAST & WEST ELEVATIONS

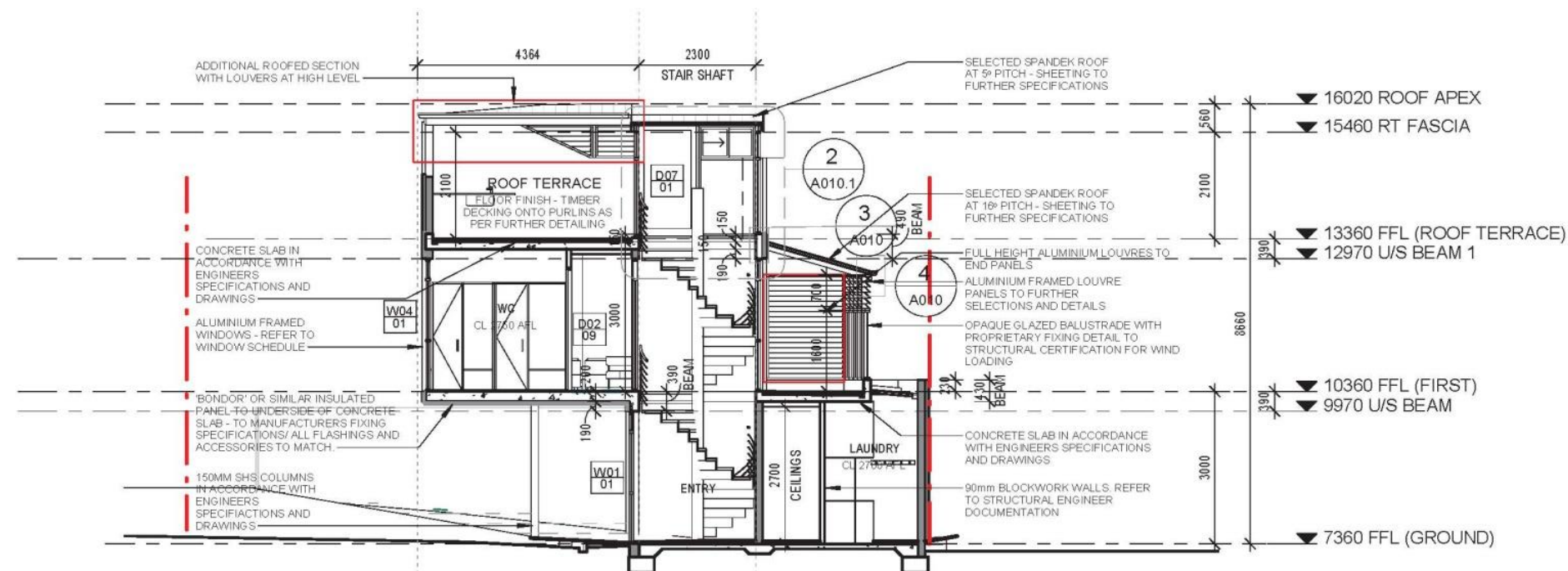
DATE	DRAWN BY	PROJECT #	DRAWING #
26/05/2020	JT		
SCALE	CHECKED	REVISION	
1:100 @ A3	KF	I	

A008



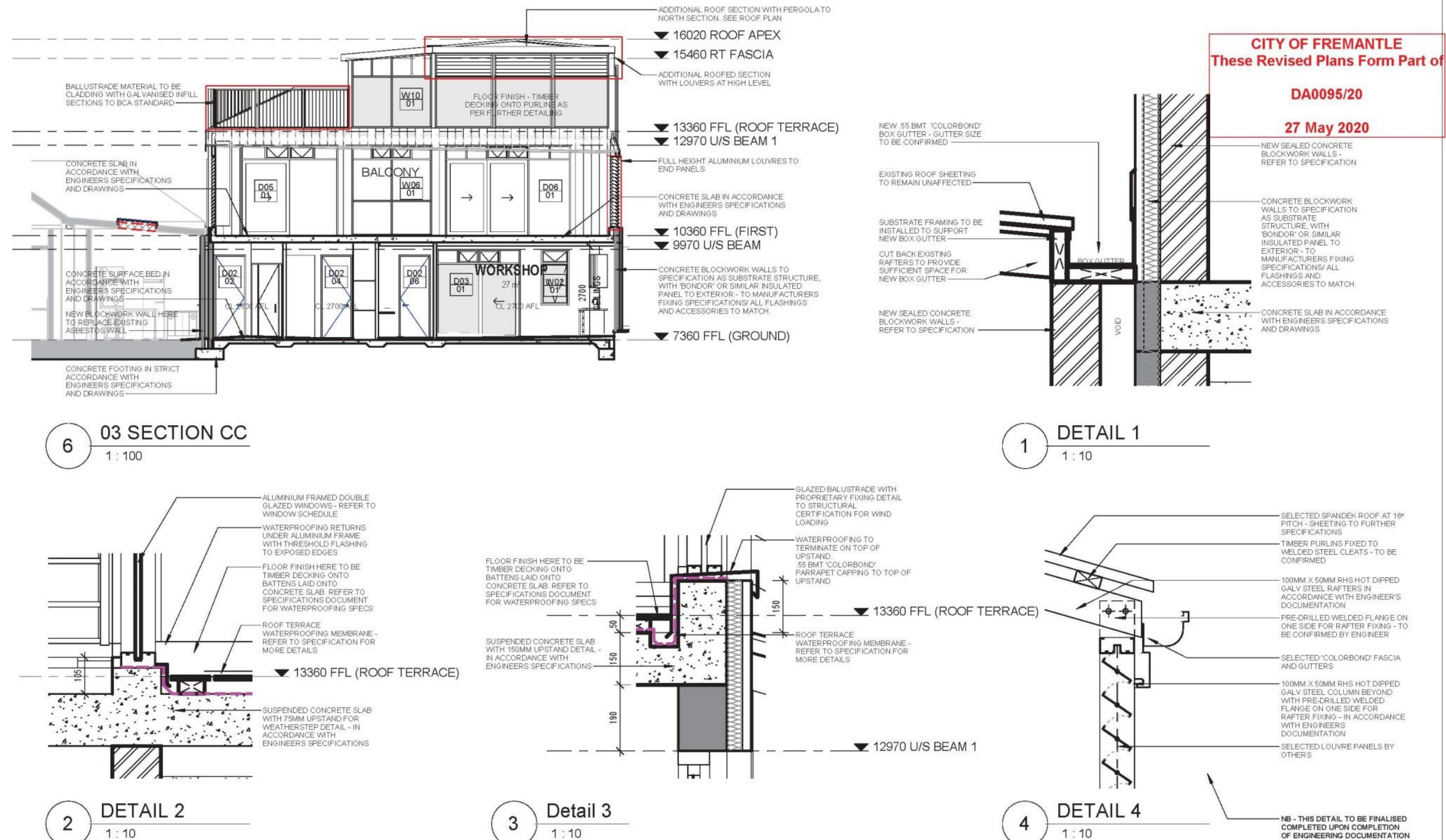


1 01 SECTION AA
1 : 100



2 02 SECTION BB
1 : 100

GENERAL NOTES			Project		DRAWING TITLE			
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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE AND CONFIRM QUANTITIES BEFORE STARTING ANY WORK OR SHOP DRAWINGS. DO NOT SCALE OFF DRAWINGS			NORTH FREMANTLE WA 6159		A009			
REV	DETAILS	DATE	DATE	DRAWN BY	PROJECT #	DRAWING #	 www.dsld.com.au	
C	DA VARIATION ISSUE	08/10/2019	28/05/2020	JT				
D	DA 3 REVIEW	16/01/2020	SCALE	CHECKED	REVISION			
E	ISSUED FOR COMMENT	04/02/2020	1:100	KF	I			
F	ISSUED FOR COMMENT	05/02/2020						
G	FOR CONSTRUCTION	12/02/2020						
H	FOR INFORMATION	12/03/2020						
I	AMEND ROOF AREA	26/05/2020						





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GENERAL NOTES		REV	DETAILS	DATE	Project 1/87 STIRLING HWY NORTH FREMANTLE WA 6159	DRAWING TITLE				 www.dsld.com.au
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		G	FOR CONSTRUCTION	12/02/2020		DATE	DRAWN BY	PROJECT #	DRAWING #	
		H	FOR INFORMATION	12/03/2020						
		I	AMEND ROOF AREA	26/05/2020						

PC2007 - 4 JOHANNAH STREET, NO. 6 (LOT 102), NORTH FREMANTLE - DEMOLITION OF EXISTING SINGLE HOUSE
AND CONSTRUCTION OF A TWO STOREY SINGLE HOUSE – (JCL DA0107/20)

Agenda attachment 1 – Amended Development Plans



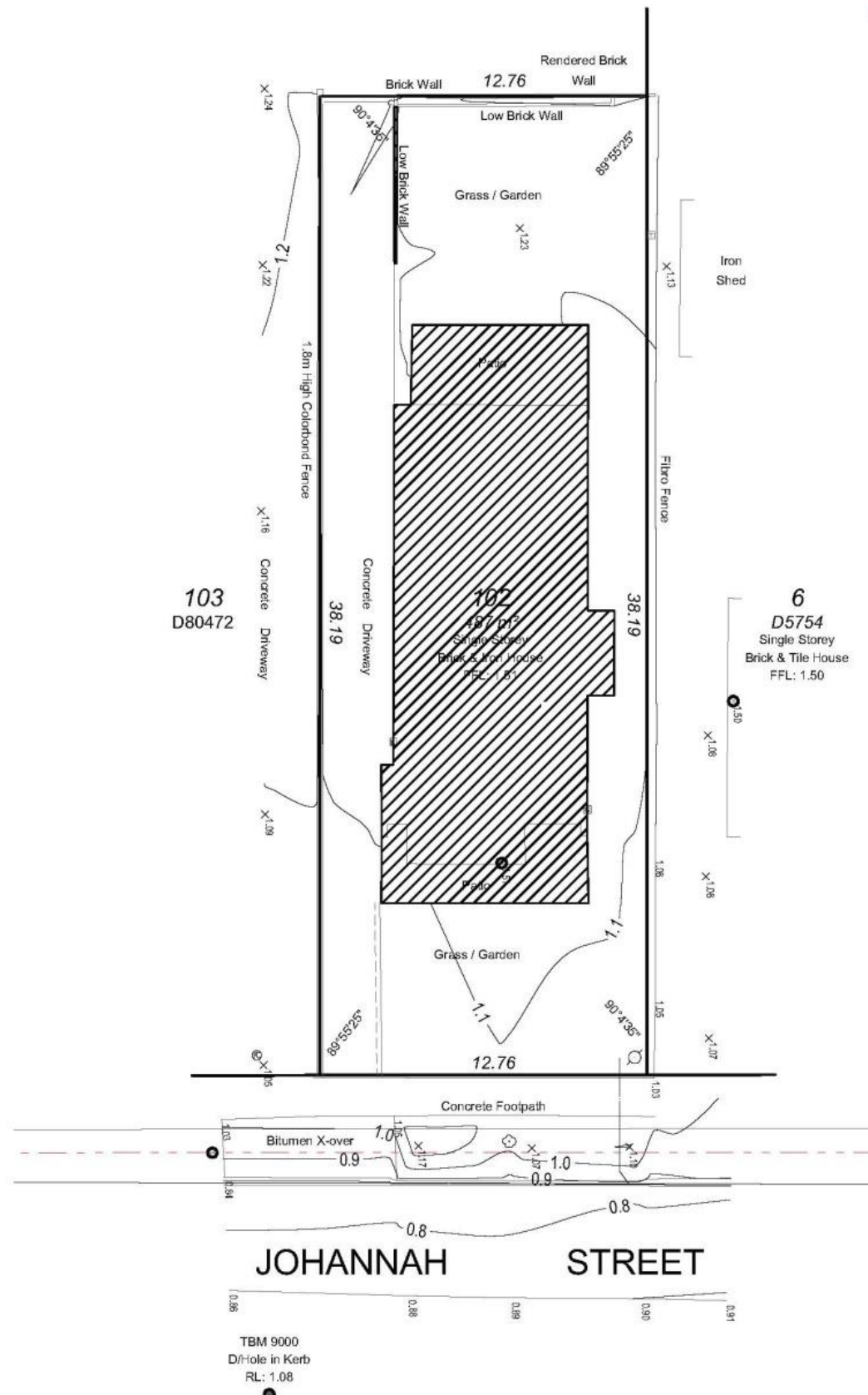
RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS

NOTE: DEMOLITION BY OWNER
ALL DEMOLITION ELEMENTS INDICATED BY
DASHED LINES & HATCHED FILL TO BE
REMOVED FROM SITE BY OWNER PRIOR TO
ANY WORKS BY THE BUILDER

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4 May 2020



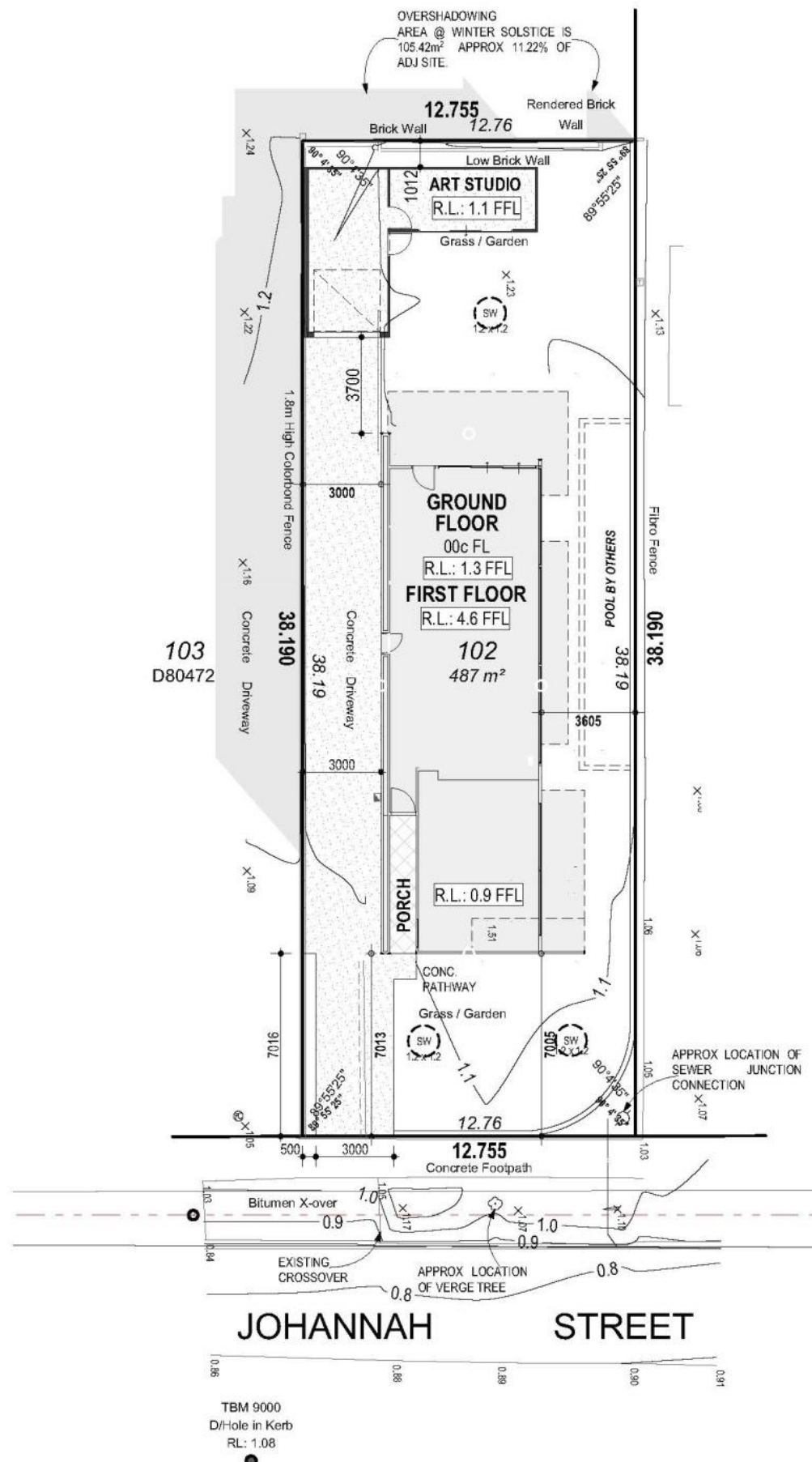
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W: www.blenddesigns.com.au A: 37 Willcock St, Andrews WA

DRAWING NAME	SITE DEMO	SHEET No.	2 OF 6	REVISION	F	JOB No.	0598
OWNER	DATE	CLIENT:	GILL	ADDRESS:	LOT 102 (#6) JOHANNAH ST, NORTH FREMANTLE	CITY OF FREMANTLE	
OWNER	DATE	DRAWN BY:	BLEND	DATE DRAWN:	APR 2020	SCALE:	1:200
DESIGNER	DATE						

NOTE: TO SCALE ON A3 SHEET

**RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS**

TERMITE TREATMENT IS TO BE THE HANDSPRAYING OF BIFENTHRIN IN ACCORDANCE WITH AS 3680.1. ONGOING ANNUAL INSPECTIONS ARE THE RESPONSIBILITY OF THE OWNER

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

NOTE: EXACT LOCATION OF EXISTING WATER METER TBC ON SITE.

POSSIBLE UNDERMINING TO EXISTING RETAINING / SCREEN WALLS TO BE REVIEWED BY ENGINEER

PLUMBER NOTE:
REFLUX VALVE TO INTERNAL SEWER LINE

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS)

SITE COVERAGE

ZONED R25
% ALLOWED 50%
SITE AREA 487.11m²
SITE COV. AREA 151.42m²

SITE COV. =31.1%

Soak Well Type	No.
SW 1200x1200	3
Total Capacity	4.1 m³
Roof Area GF	41.9 m²
Paved Area	85.3 m²
Roof Area UF	154.7 m²
Total Area	281.9 m²
Capacity Required (Area x 0.0125)	3.5 m³
Extra Capacity Provided	0.6 m³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

NOTE:
FRONT BOUNDARY FENCE IS NOT INCLUDED IN THIS APPLICATION.

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DA0107/20

4 May 2020

arklen

Ph: (08) 9336 2229
E: mark@arklen.com.au
W: www.arklen.com.au
A: 13/210 Queen Victoria St, North Fremantle W.A.

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DRAWING NAME:

SITE PLAN

SHEET No:

1 OF 6

REVISION:

F

JOB No:

0598

OWNER: DATE:

OWNER: DATE:

DESIGNER: DATE:

CLIENT:

GILL

ADDRESS:

LOT 102 (#6) JOHANNAH ST, NORTH FREMANTLE

CITY OF FREMANTLE

DRAWN BY:

BLEND

DATE DRAWN:

APR 2020

SCALE:

1:200

NOTE: TO SCALE ON A3 SHEET



CITY OF FREMANTLE
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DA0107/20
4 May 2020

AREA	M²	PERIM.
GROUND FLOOR	108.30	52.20
ART STUDIO	36.41	31.20
PORCH	7.18	13.33
STORE	14.09	16.30
	165.98 m²	113.03 m

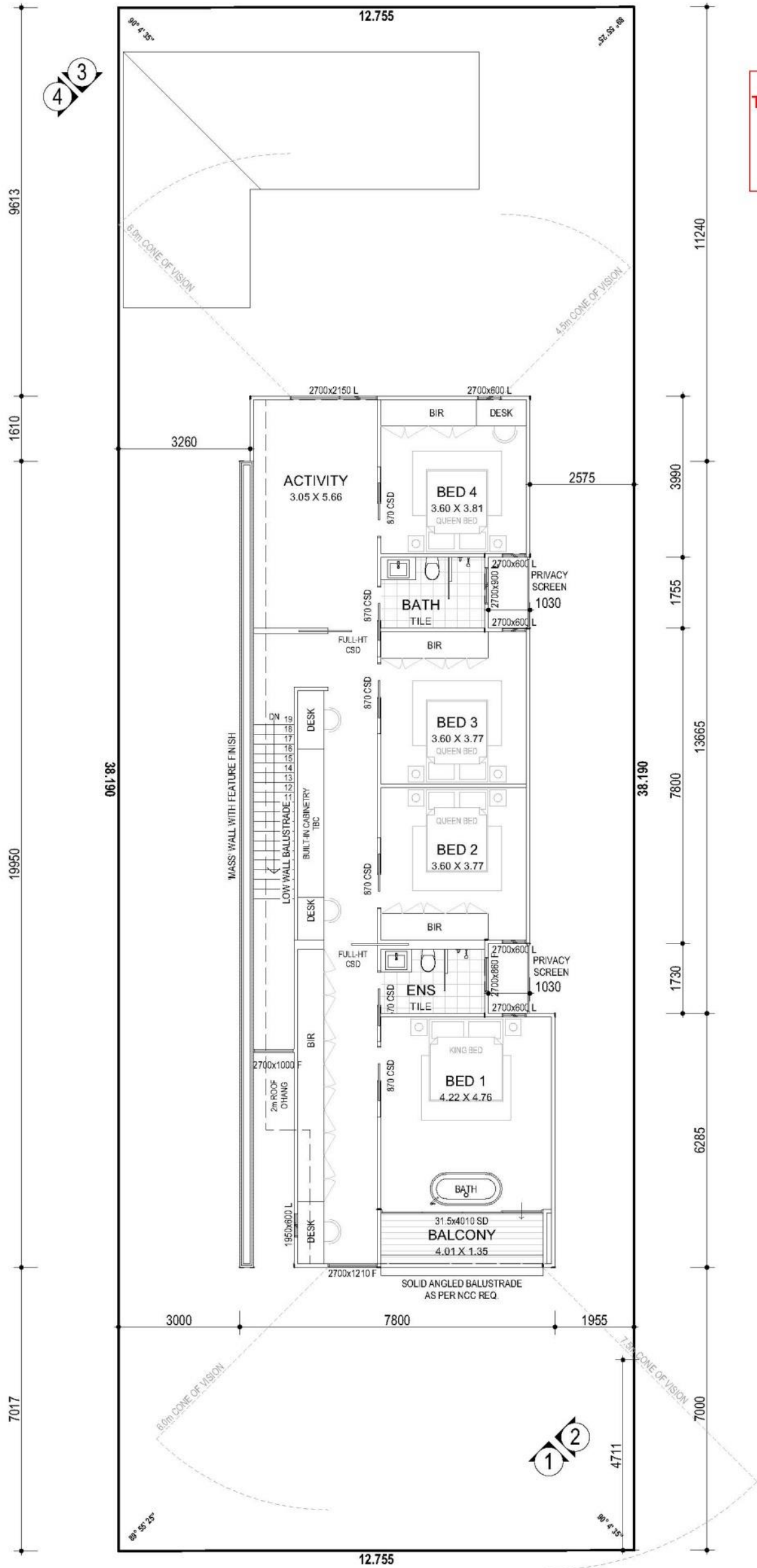
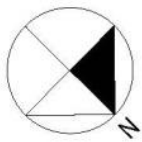
AREA	M ²	PERIM.
FIRST FLOOR	143.56	73.47
BALCONY	5.82	11.32
	149.38 m ²	84.79 m

NOTE: TO SCALE ON A3 SHEET

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	OWNER	DATE	CLIENT	GILL	ADDRESS	LOT 102 (#6) JOHANNAH ST. NORTH FREMANTLE CITY OF FREMANTLE				
OWNER	DATE	DRAWN BY	BLEND	DATE DRAWN	SCALE		1:100			
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E: marketing@arklen.com.au
W: www.arklen.com.au
A: 13210 Queen Victoria St, North Fremantle W.A.



THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

GROUND FLOOR CEILING @ 2700MM,
FIRST FLOOR CEILING @ 2700 U.N.O

CITY OF FREMANTLE
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DA0107/20
4 May 2020

AREA	M ²	PERIM.
GROUND FLOOR	108.30	52.20
ART STUDIO	36.41	31.20
PORCH	7.18	13.33
STORE	14.09	16.30
	165.98 m ²	113.03 m

AREA	M ²	PERIM.
FIRST FLOOR	143.56	73.47
BALCONY	5.82	11.32
	149.38 m ²	84.79 m

NOTE: TO SCALE ON A3 SHEET

SHEET No.	REVISION	JOB No.
4 OF 6	F	0598

CLIENT	DATE	DATE	DATE
GILL			
OWNER			
OWNER			
DESIGNER			

DATE DRAWN	SCALE
APR 2020	1:100

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DRAWING NAME: ELEVATIONS 1		SHEET No: 5 OF 6	REVISION: F	JOB No: 0598
OWNER DATE		CLIENT: GILL ADDRESS: LOT 102 (#6) JOHANNAH ST, NORTH FREMANTLE CITY OF FREMANTLE		
OWNER DATE		DRAWN BY: BLEND		
DESIGNER DATE		DATE DRAWN: APR 2020	SCALE: 1:100	

ELEVATION 3

Page 26

PC2007 - 5 INFORMATION REPORT – JULY 2020

Agenda attachment 1 – Schedule of applications determined under delegated authority

1. Inverleith Street, No. 2 (Lot 800), South Fremantle - Single Storey Single house (NB DA0120/20)
2. James Street, No. 1/13 (SL 1) Fremantle - Painting of mural to existing building – (NB DA0193/20)
3. Ainslie Road, No. 29 (Lot 205), North Fremantle - Extension of time to DA0132/16 (ET02/20)
4. High Street, No.318 (Lot 1), Fremantle – Carport addition to existing Grouped Dwelling – (CS DA0167/20)
5. Stirling Highway, No. 140 (Lot 2), North Fremantle – Two lot subdivision - (NB WAPC158953)