



Agenda attachments

Planning Committee

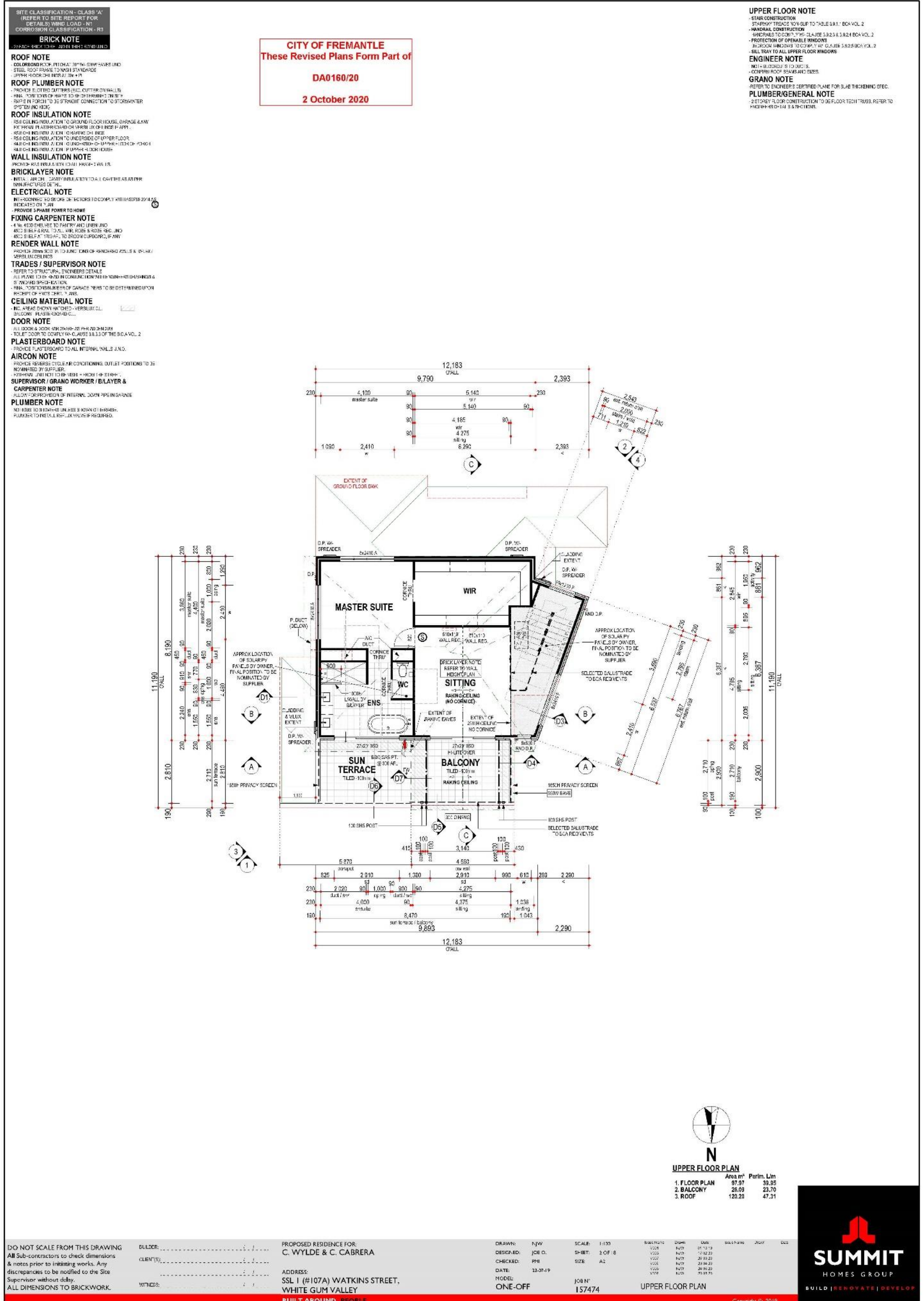
Wednesday, 4 November 2020, 6.00pm

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Attachment 1 – Amended development plans





ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- GROUND FLOOR CEILING TO USIDE OF TRUSS
- UNDERSIDE OF TRUSS AT 31c
- UPPER FLOOR CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE

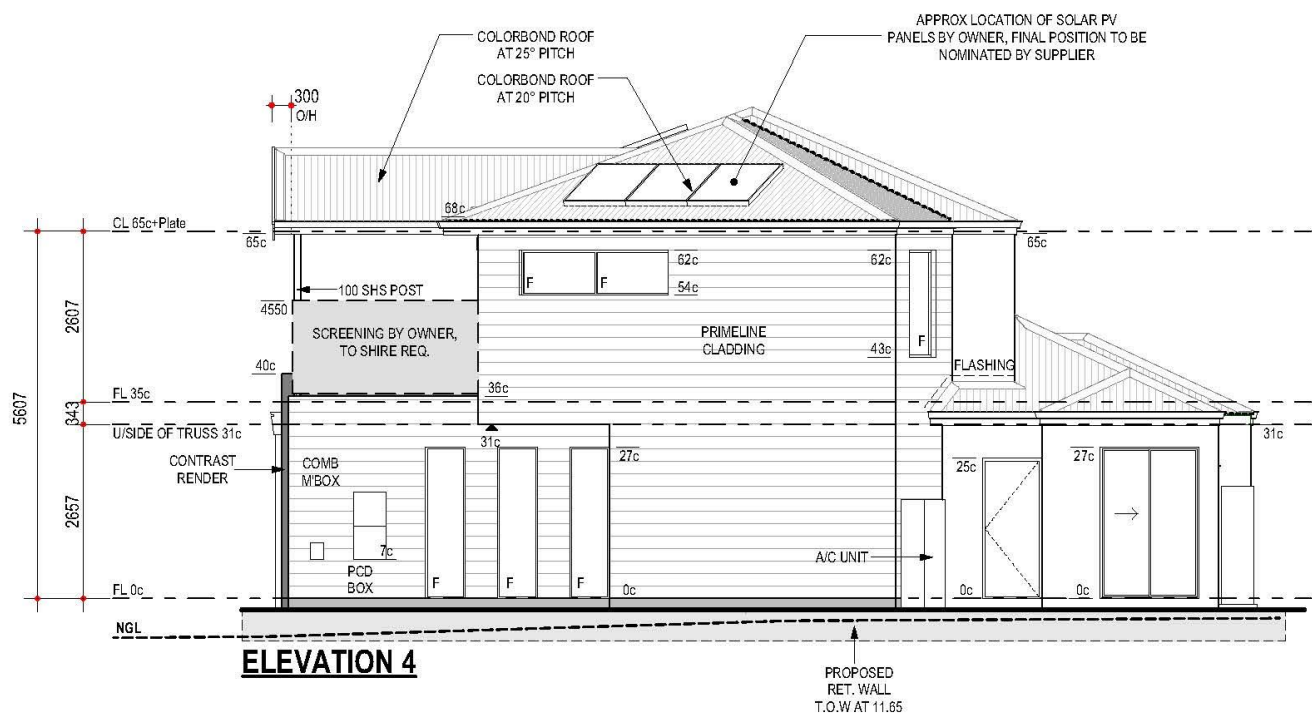
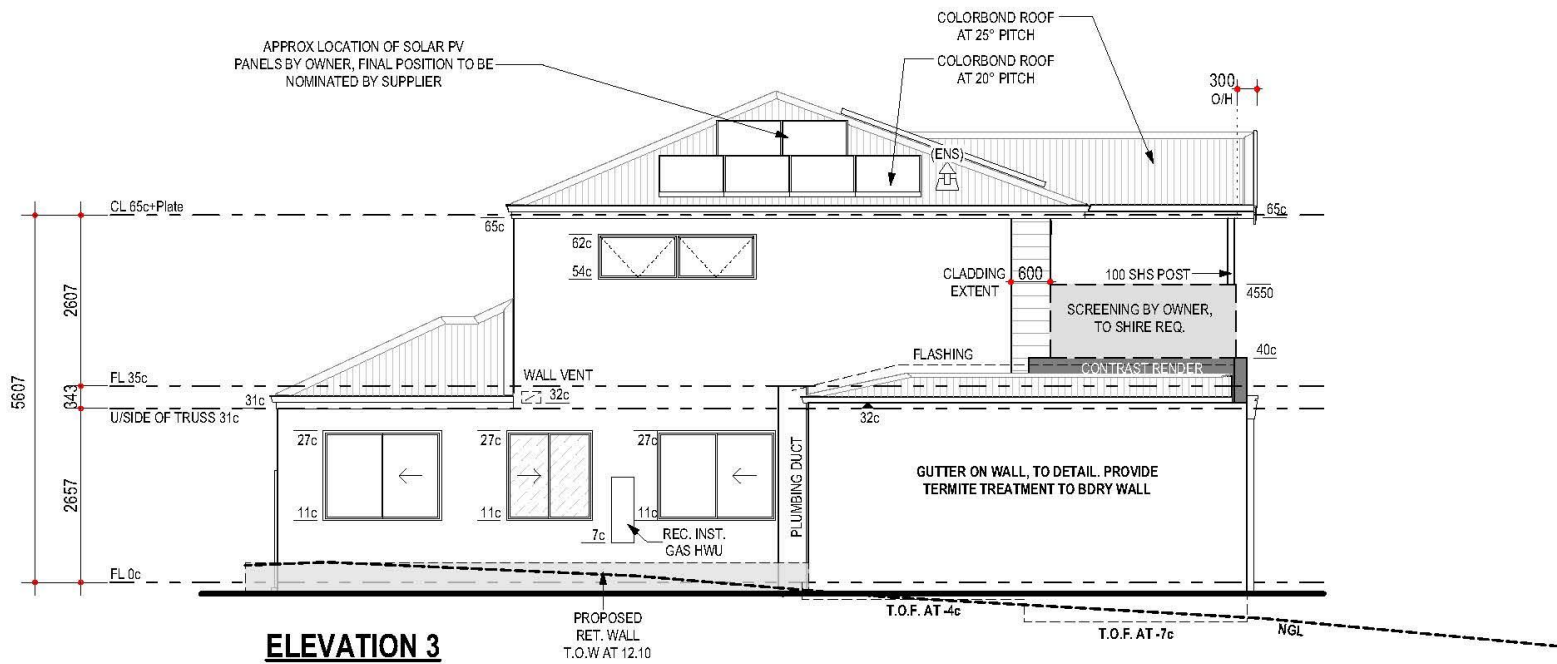
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS IN BRICK CONSTRUCTION:
- WINDOW SUPPLIER TO SITE MEASURE FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.

CITY OF FREMANTLE
These Revised Plans Form Part of

DA0160/20

2 October 2020

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.



BUILDER: _____
CLIENT(S): _____
WITNESS: _____

PROPOSED RESIDENCE FOR:
C. WYLDE & C. CABRERA

ADDRESS:
SSL 1 (#107A) WATKINS STREET,
WHITE GUM VALLEY

BUILT AROUND PEOPLE

DRAWN: NJW
DESIGNED: JOE O.
CHECKED: PMI
DATE: 23-07-19
MODEL: ONE-OFF

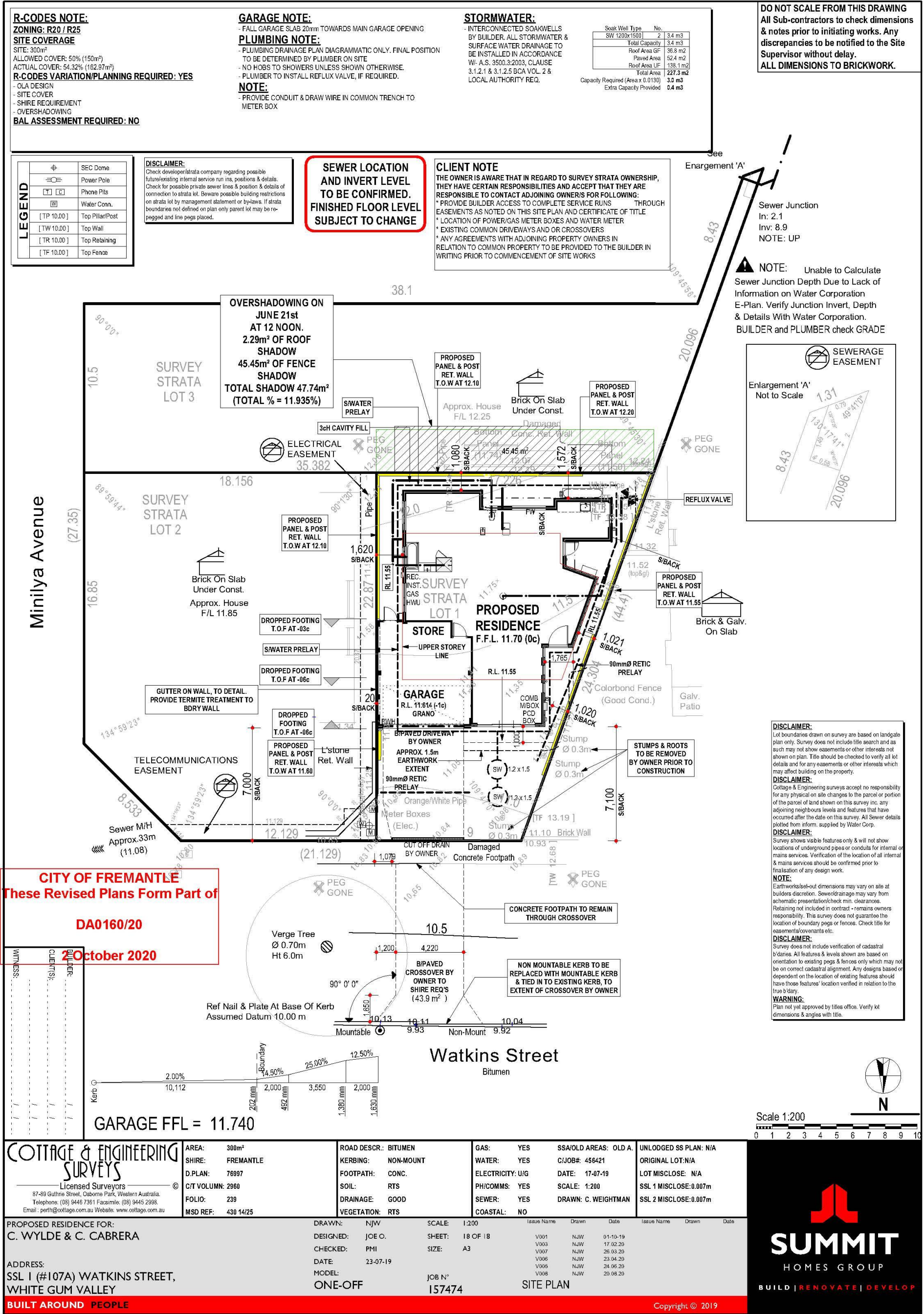
SCALE: 1:100
SHEET: 4 OF 18
SIZE: A3
JOB N° 157474

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V001	NJW	04-10-19			
V003	NJW	17-02-20			
V007	NJW	26-03-20			
V006	NJW	23-04-20			
V005	NJW	24-06-20			
V008	NJW	20-08-20			

ELEVATIONS

SUMMIT
HOMES GROUP
BUILD | RENOVATE | DEVELOP

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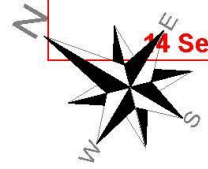
Page 6

Agenda attachment 1 – Amended Development Plans



LOT 51

CITY OF FREMANTLE
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DA0166/20
14 September 2020



NOTE ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

SOIL DESCRIPTION
Sand
Light Grass Cover

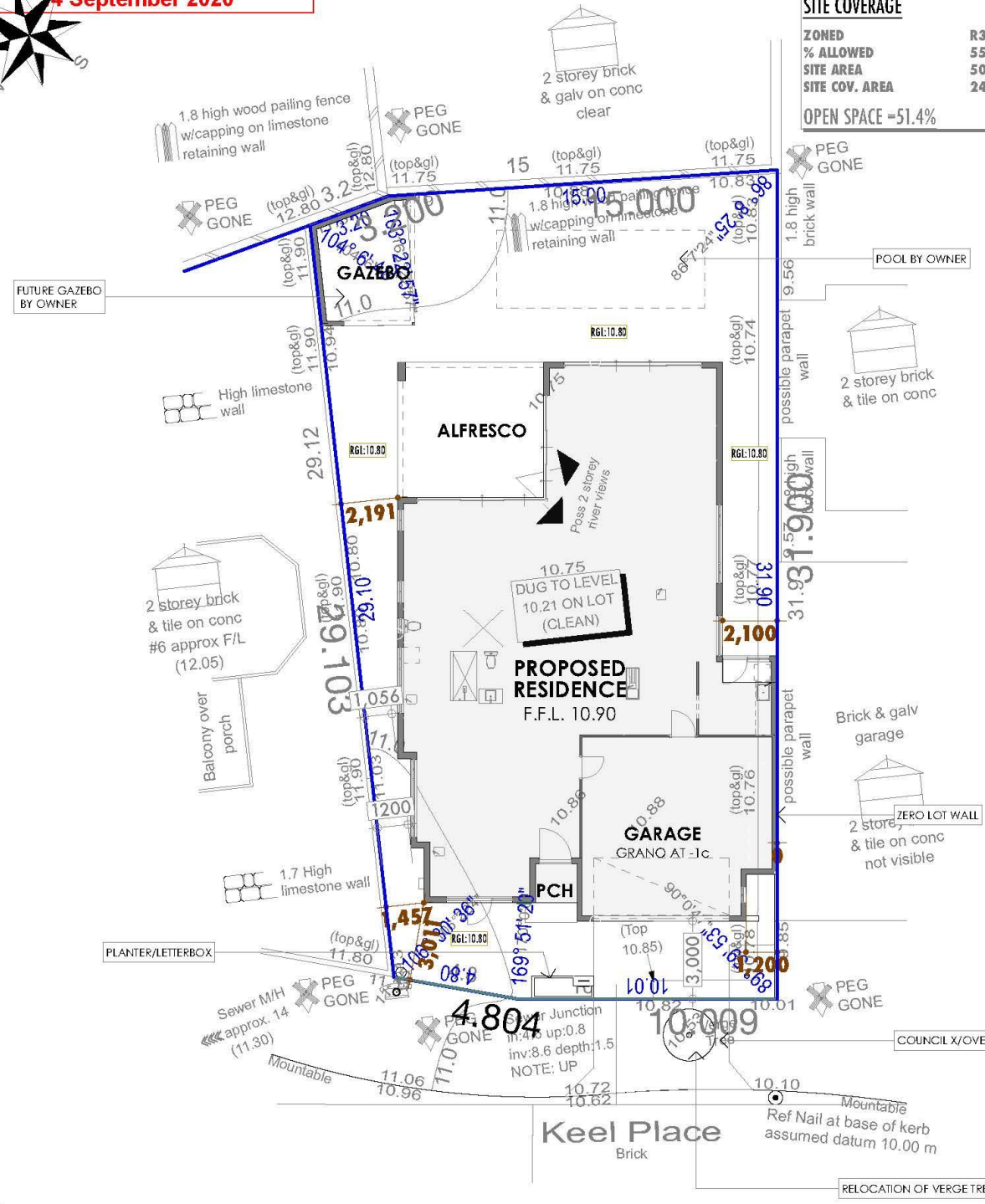
NOTE:
LOT MISCLOSE
(0.004 m)

SITE COVERAGE
ZONED R30
% ALLOWED 55%
SITE AREA 509.39m²
SITE COV. AREA 247.77m²
OPEN SPACE =51.4%

**Design &
Construct**

CLIENT:	Ridley	CONTRACT / JOB NO.	
		MAP REF:	400 C8
SITE SURVEY	LOT 51	COASTAL	YES
		(Scaled from StreetSmart Directory Only)	
	#2 Keel Place		
Suburb	North Fremantle		
Loc.Auth.	CITY OF FREMANTLE		
Plan	20296	Volume	2023 Folio 350
Location	Check Title		

NOTE COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.



DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



Elec.	U/Ground	Water	Yes	Sewer	Yes
Gas	Alinta Gas Map Indicates Gas In Area Check Your Lotcall 131358	Phone	Yes	Footpath	Nil
Road	Brick	Kerb	Mountable	Drainage	Good

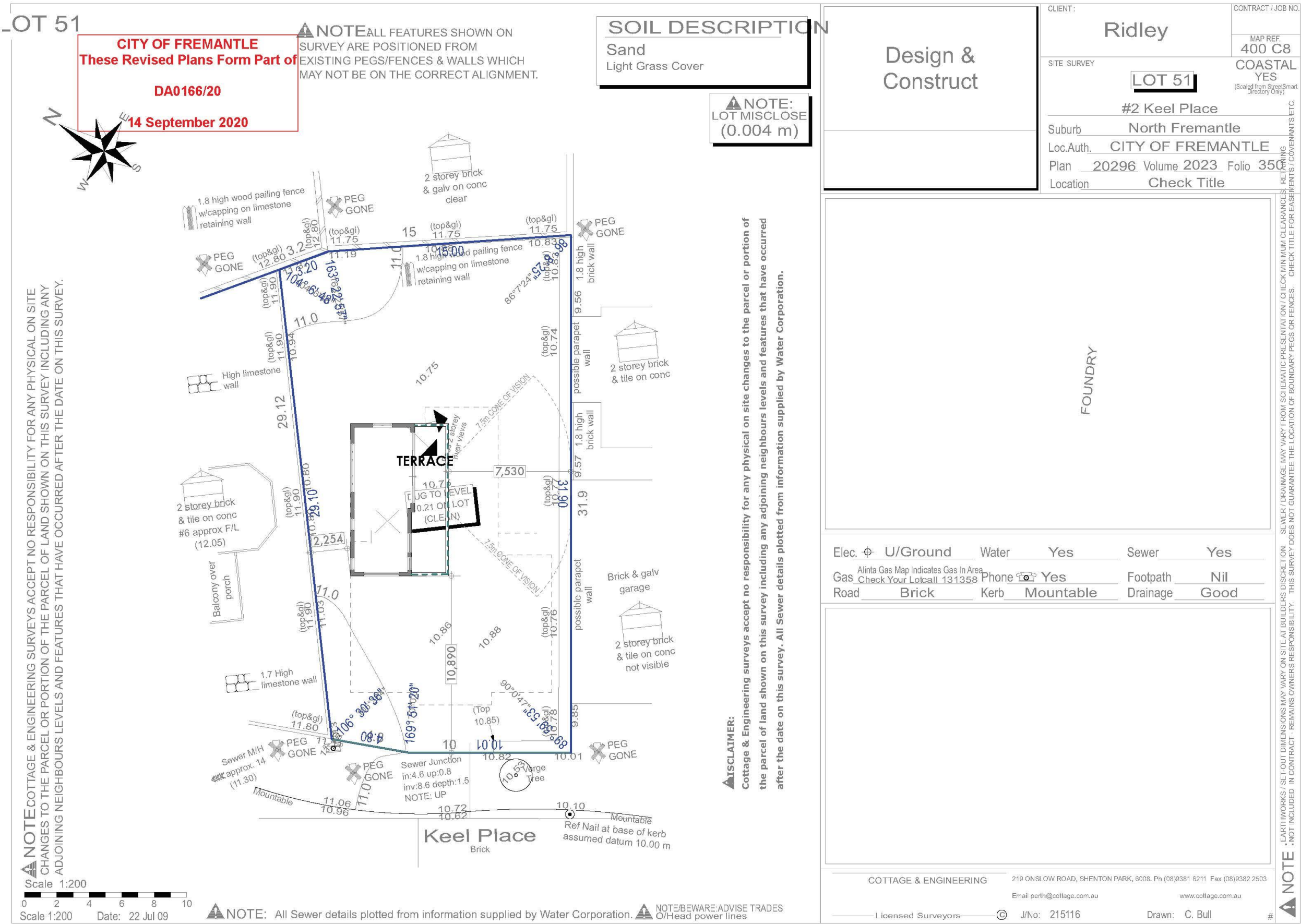
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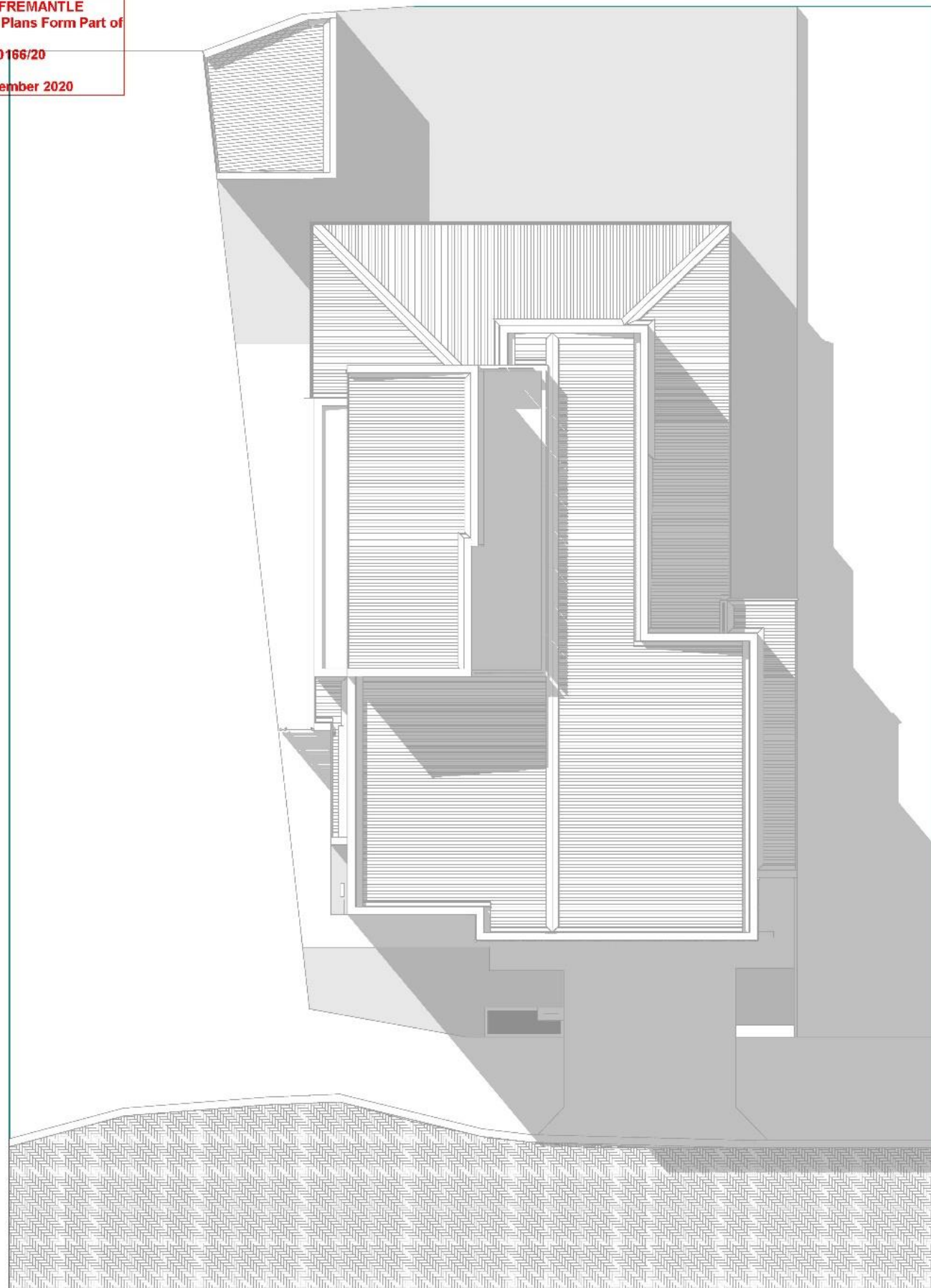
NOTE: All Sewer details plotted from information supplied by Water Corporation. **NOTE/BEWARE:** ADVISE TRADES O/Head power lines

COTTAGE & ENGINEERING
219 ONSLOW ROAD, SHENTON PARK, 6008. Ph (08)9381 6211 Fax (08)9382 2503
Email perth@cottage.com.au www.cottage.com.au
Licensed Surveyors © J/No: 215116 Drawn: C. Bull #

NOTE EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING CHECK TITLE FOR EASEMENTS / COVENANTS ETC.







NOTE This document is a preliminary drawing and should not be used for construction. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the accuracy of the information provided by the client.	Project Partners Robert and Susan Bellagio 1234 Main Street, Suite 500 San Francisco, CA 94102 Phone: (415) 555-1234 Email: info@bellagiohomes.com Website: www.bellagiohomes.com	BELLAGIO HOMES <i>Live life your way</i>	Client Name: Robert and Susan Bellagio Address: 1234 Main Street, Suite 500, San Francisco, CA 94102 Phone: (415) 555-1234 Email: info@bellagiohomes.com	Project Info Project Name: Shadow Diagram Project No: 123456 Project Date: 10/26/2023	DRAWING TITLE: D4 SHADOW DIAGRAM PROJECT NAME: job description REVISION NO. 1.5
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CITY OF FREMANTLE
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DA0166/20
14 September 2020



GROUND FLOOR PLAN

1:100

Area	m ²	Perimeter
PROPOSED RESIDENCE	195.18	70.79
BALCONY	7.00	11.38
FIRST FLOOR	187.55	63.90
GARAGE	51.26	29.52
TERRACE	54.94	30.92
PCH	3.96	8.56
ALFRESCO	29.12	21.60
GAZEBO	16.79	16.42
	548.81m ²	253.86m

NOTE
The following conditions apply to the use of the plans:
1. The plans are for information only and do not constitute a contract.
2. The plans are subject to the terms and conditions of the relevant planning scheme.
3. The plans are subject to the terms and conditions of the relevant planning scheme.
4. The plans are subject to the terms and conditions of the relevant planning scheme.
5. The plans are subject to the terms and conditions of the relevant planning scheme.

Project Partners
BELLAGIO HOMES
100/101 Stirling Highway
Fremantle WA 6155
Phone: 08 9437 1234
Email: info@bellagiohomes.com.au



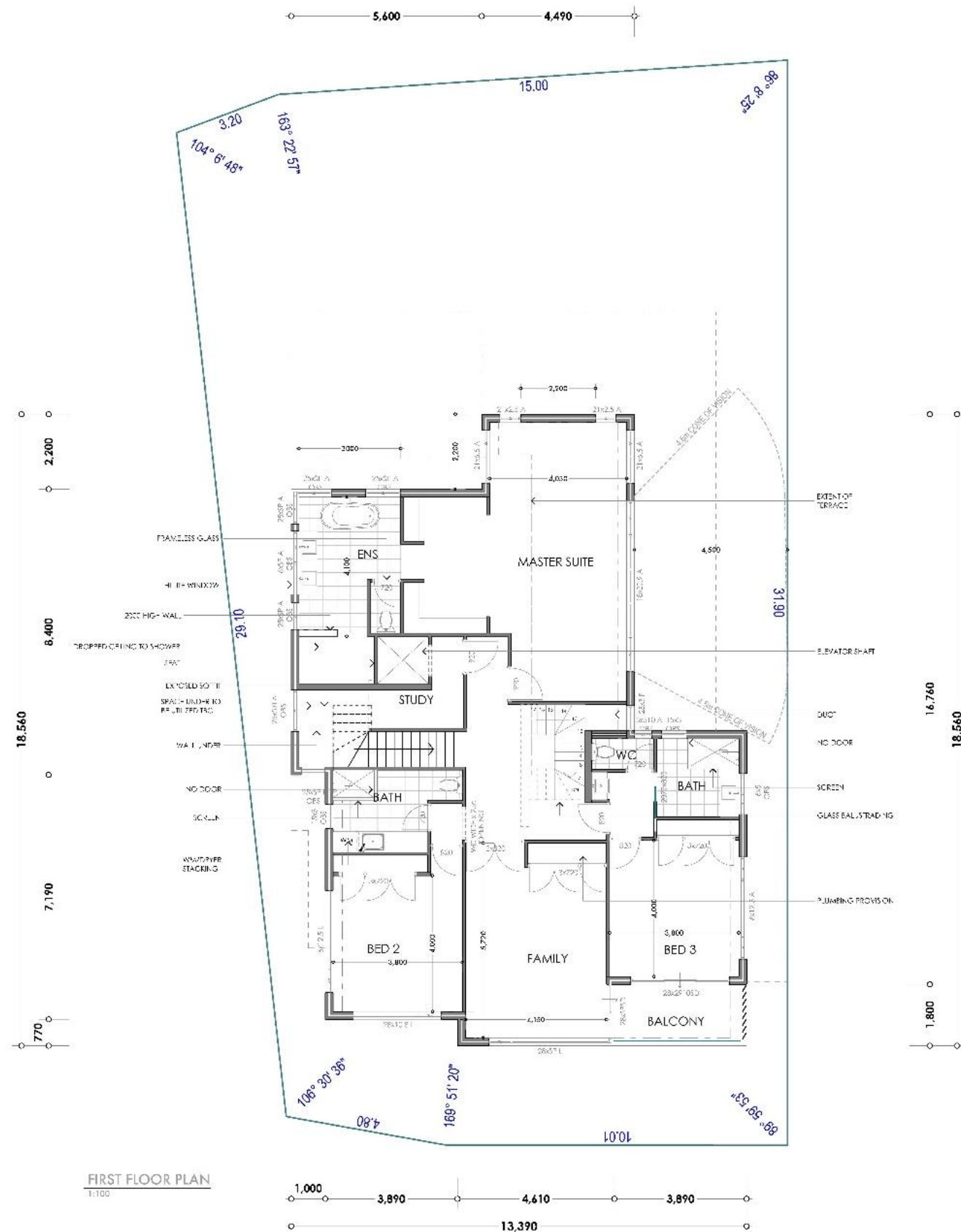
Rev: 01 Date: 14/09/2020
Change: 01
Name: [Redacted]
Title: [Redacted]

Drawn: [Redacted]
Checked: [Redacted]
Project: [Redacted]
Client: [Redacted]
Site: [Redacted]
Date: [Redacted]

GROUND FLOOR PLAN
PROJECT NAME: [Redacted]
job description

REVISION NO.
[Redacted]
[Redacted]
.6

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DA0166/20
14 September 2020



NOTE
The City of Fremantle is a planning authority and does not guarantee the accuracy of the information provided in this document. The City of Fremantle is not responsible for any loss or damage arising from the use of this information.

Project Partners
Bellagio Homes Pty Ltd
100/101 Bellagio Drive
Fremantle WA 6155
08 9437 1000
www.bellagiohomes.com.au



Rev: 0 LHM Change Name Date
1.000 3,890 4,610 3,890
13,390

Drawn: [Name] Date: 15/09/20
Project NO: 166/20
Project Name: 166/20/20
Client: Paul & Sarah Ridgway
Site: 166/20/20, 166/20/20
Scale: 1:100

FIRST FLOOR PLAN
PROJECT NAME: job description

REVISION NO.
DRAWING NO.
.7

Architectural floor plan of a terrace and void area. The plan shows a central 'VOID' with a staircase, surrounded by a 'TERRACE'. Dimensions are provided for the overall area (6,060 x 9,400) and the terrace/void area (3,760 x 2,300). A '650 HIGH WALL' is indicated on the left. A 'VOID COVER STUDY' is shown on the right. The plan includes various structural details like columns, walls, and stairs.

Overall dimensions: 6,060 (width) x 9,400 (height).

Internal dimensions: 3,760 (width) x 2,300 (height).

Labels and features:

- 650 HIGH WALL
- VOID
- TERRACE
- VOID COVER STUDY
- 1/2" HIGH WALL
- VOID COVER STUDY

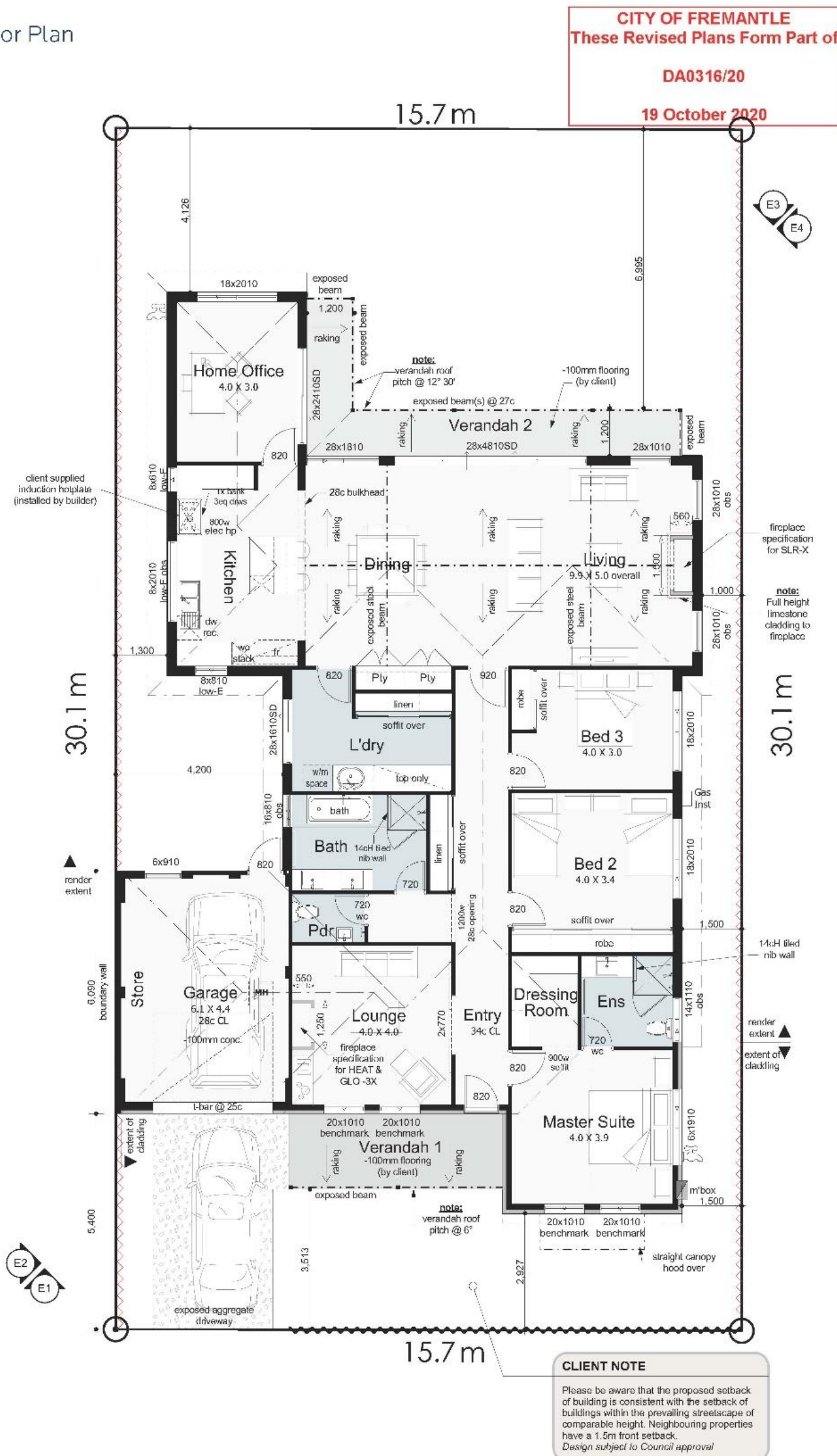
Scale: 1:100

TERRACE
1:100

[illegible]

Agenda attachment 1 – Amended Development Plans

Floor Plan
1:100

Special
Dale's Specification

Ground Floor	208.10
Garage	25.60
Verandah 2	14.64
Verandah 1	10.18

Total: **258.52 m²**
Perimeter: 72.960m

Render to entire home
(excluding garage internally,
nor external boundary wall)

31c ceiling throughout home
(unless otherwise noted)

Zoning	R30
Percentage allowed	55.00%
Site-Lot Area	472.58m ²
Site Cover Allowed	259.92m ²
Ground Floor	208.12m ²
Garage	25.58m ²
Site Cover Used	233.70m ²
Actual Coverage	49.45%

Mandatory Design Compliance
City of Fremantle - LPP 2.9

Floor Plan:
Min. Garage distance behind
dwelling 500mm

Miscellaneous:
BAL fire rating req's: BAL N/A
Noise attenuation req's: N/A

- ☒ Planning Required
- ☒ R-Code Variation

R-Code Variation Acknowledgement:
The proposed design requires a variation to the Residential Design Codes and therefore will be at the discretion of the local authority. As a result proceeding with this design may incur additional costs and time delays.



CLIENT: Christine Kim & James Robinson

ADDRESS: Lot 27 (#6) Commercial Street SOUTH
FREMANTLE

JOB NUMBER: 33504

CONSULTANT: Lauren Kellendonk

Verbindung: dch(dchjcls)Des-0133000/33500/33504/33504-0.ppt

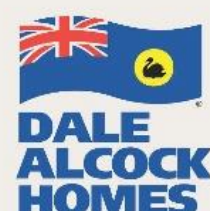
CONCEPT#:	
06	16/10/2020
5 PCA2	29/09/2020
4 TP	17/08/2020
3 PCA1	4/08/2020
02	17/06/2020

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CLIENT: _____

CLIENT: _____

BUILDER: _____



Elevations

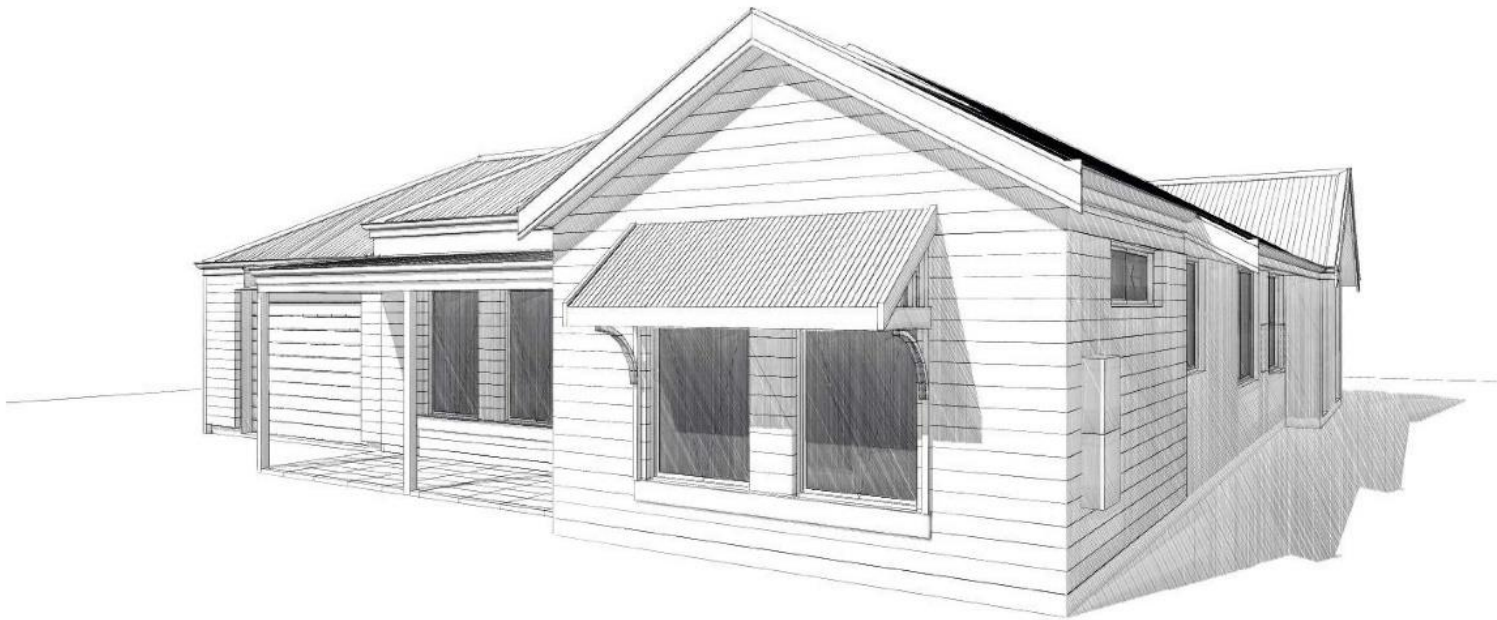
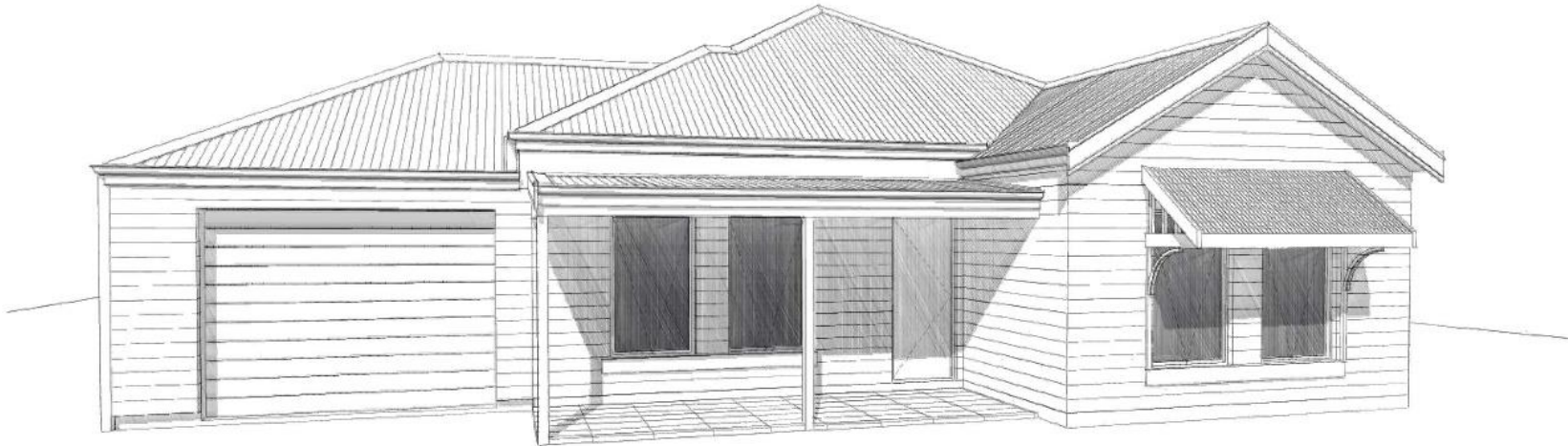
Roofing Note
30° 08' Roof Pitch
Metal Roof

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These Revised Plans Form Part of
DA0316/20
19 October 2020

Special
Dale's Specification



E1 Front Elevation
1:100



Page 2 of 4

CLIENT: Christine Kim & James Robinson
ADDRESS: Lot 27 (#6) Commercial Street SOUTH
FREMANTLE
JOB NUMBER: 33504
CONSULTANT: Lauren Kellendonk

CONCEPT#:
06 16/10/2020 EC
5 PCA2 29/09/2020 EC
4 TP 17/08/2020 MH
3 PCA1 4/08/2020 MH
02 17/06/2020 MH

CLIENT: _____
CLIENT: _____
BUILDER: _____

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Elevations

Roofing Note
30°08' Roof Pitch
Metal Roof

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19 October 2020

Special
Dale's Specification



E3 Rear Elevation
1:100



E2 Side Elevation
1:100



E4 Side Elevation
1:100

CLIENT: Christine Kim & James Robinson

ADDRESS: Lot 27 (#6) Commercial Street SOUTH FREMANTLE

JOB NUMBER: 33504

CONSULTANT: Lauren Kellendonk

\\resgroup\p\en\design\33504\33504\33504_L5.dwg

CONCEPT#:

06 16/10/2020

5 PCA2 29/09/2020

4 TP 17/08/2020

CLIENT: _____

CLIENT: _____

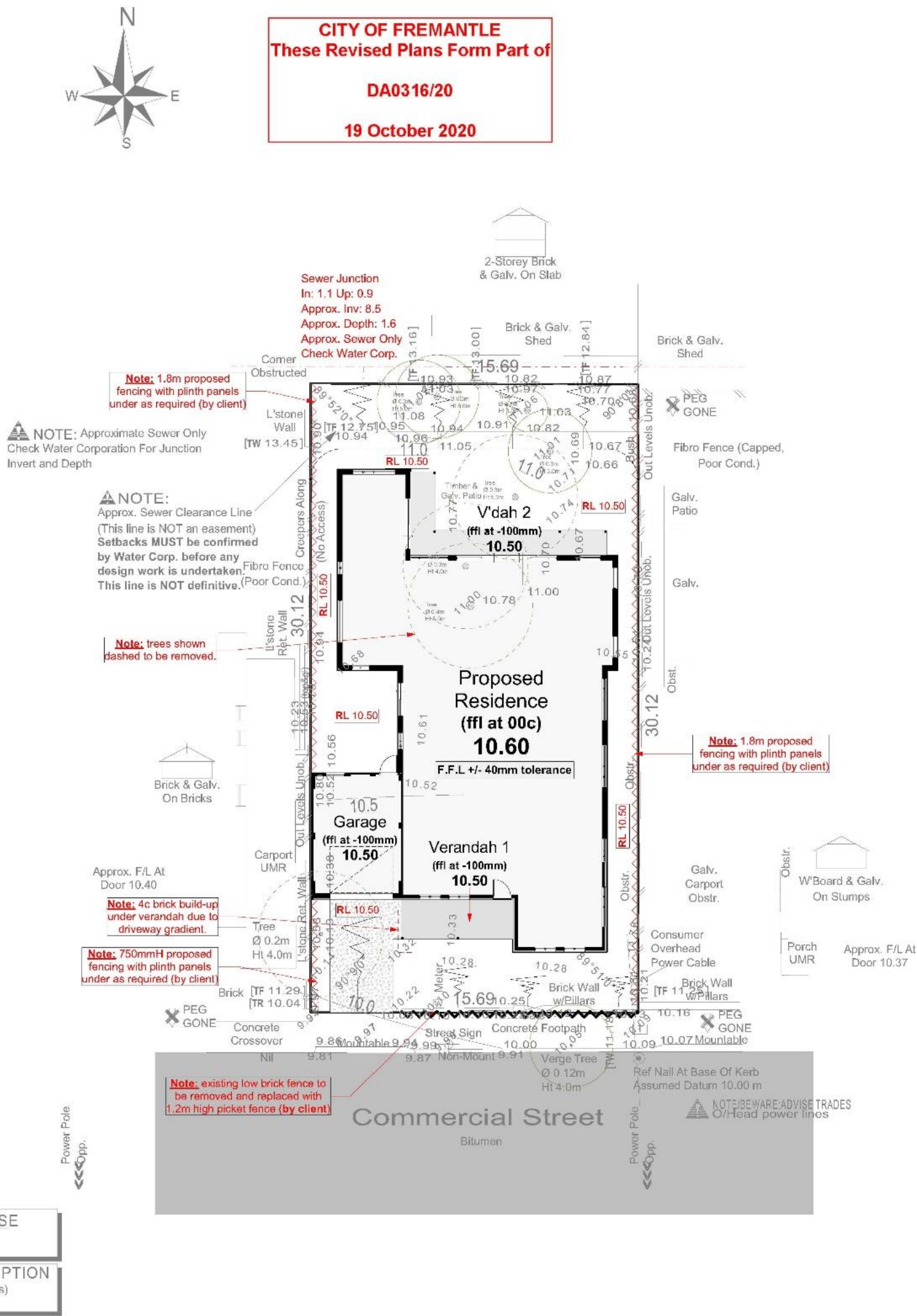
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Site Plan
1:200

Special
Dale's Specification



Page 4 of 4



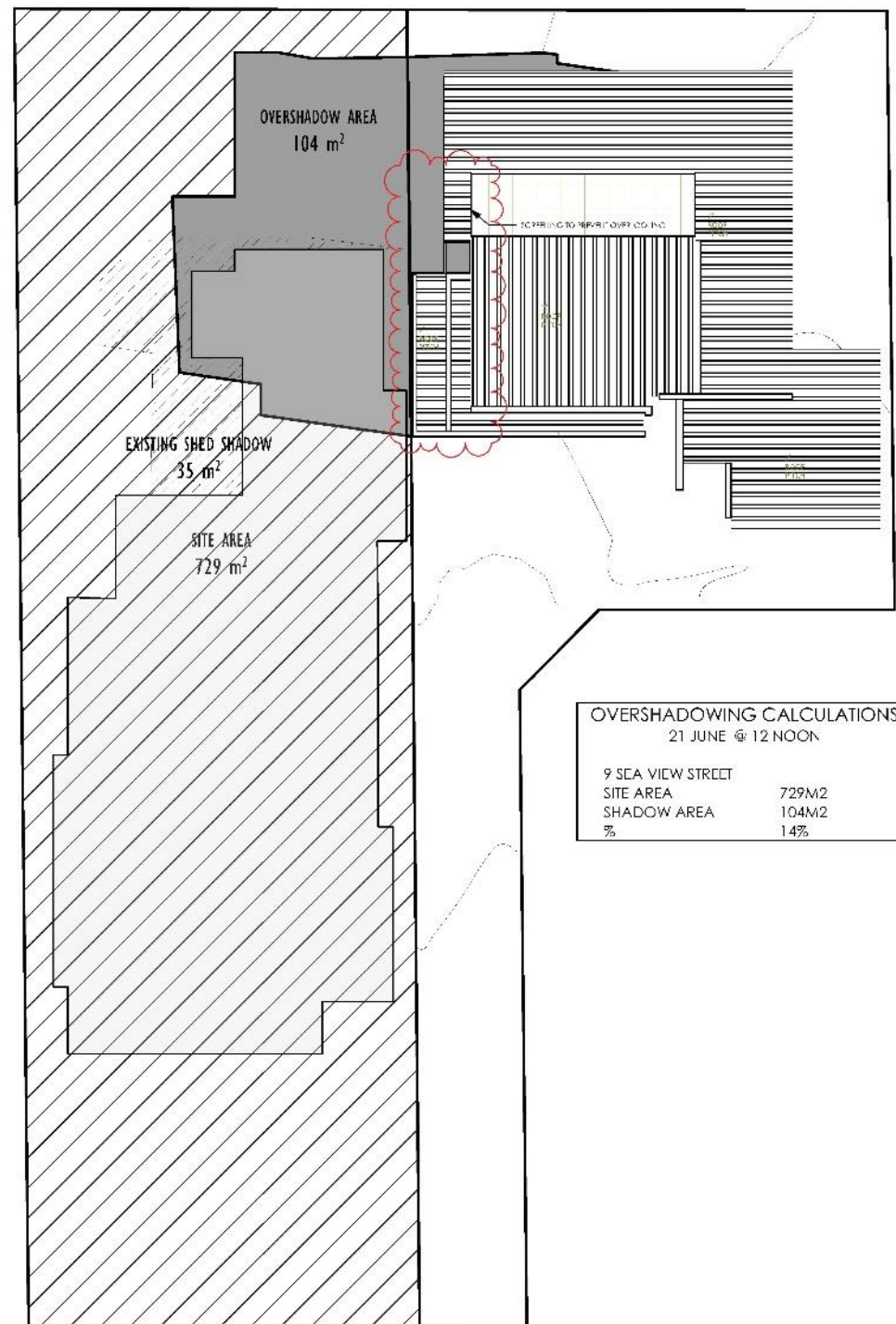
Special

Dale's Specification

Page 19

PC2011 - 4 SEAVIEW STREET, NO. 7A (STRATA LOT 2), BEACONSFIELD – THREE STOREY SINGLE HOUSE – (NB DA0297/20)

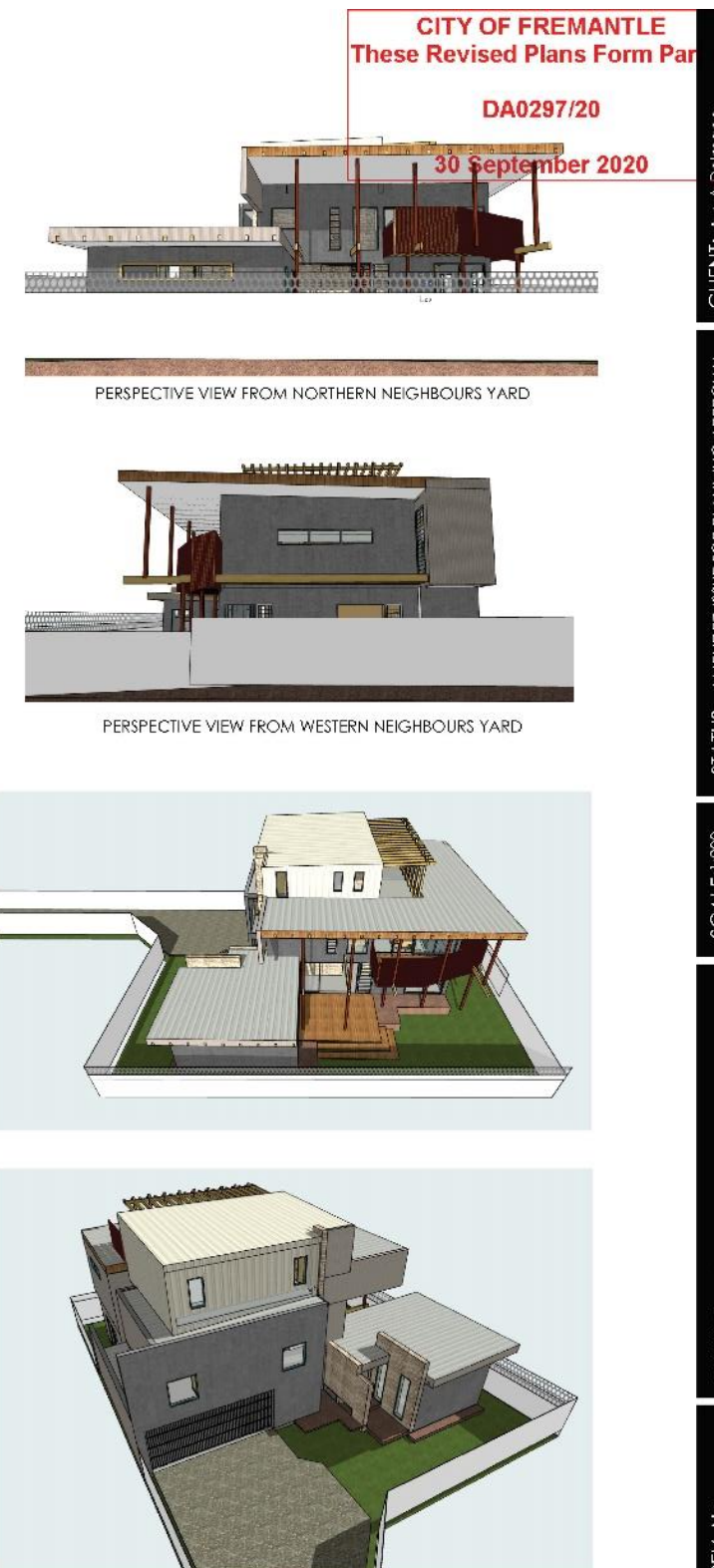
Agenda attachment 1 – Amended Development Plans



7.

ROOF PLAN

1:200



OCKHM x HGLD
build your own pinnacles

CLIENT: A + A Delmorge

STATUS: AMENDED ISSUE FOR PLANNING APPROVAL

SCALE: 1:200

DRAWING: ROOF AND RENDER

REV. No.: DA02

0203P01

7A SEA VIEW STREET BEACONSFEILD PLANNING APPLICATION

Rev. DA2

amended set for planning committee report
30/09/2020

CITY OF FREMANTLE
These Revised Plans Form Part

DA0297/20

30 September 2020

CLIENT: A + A Delmage

STATUS: AMENDED ISSUE FOR PLANNING APPROVAL

SCALE:

DRAWING: 7A SEA VIEW STREET DA SET

REV. NO. DA02

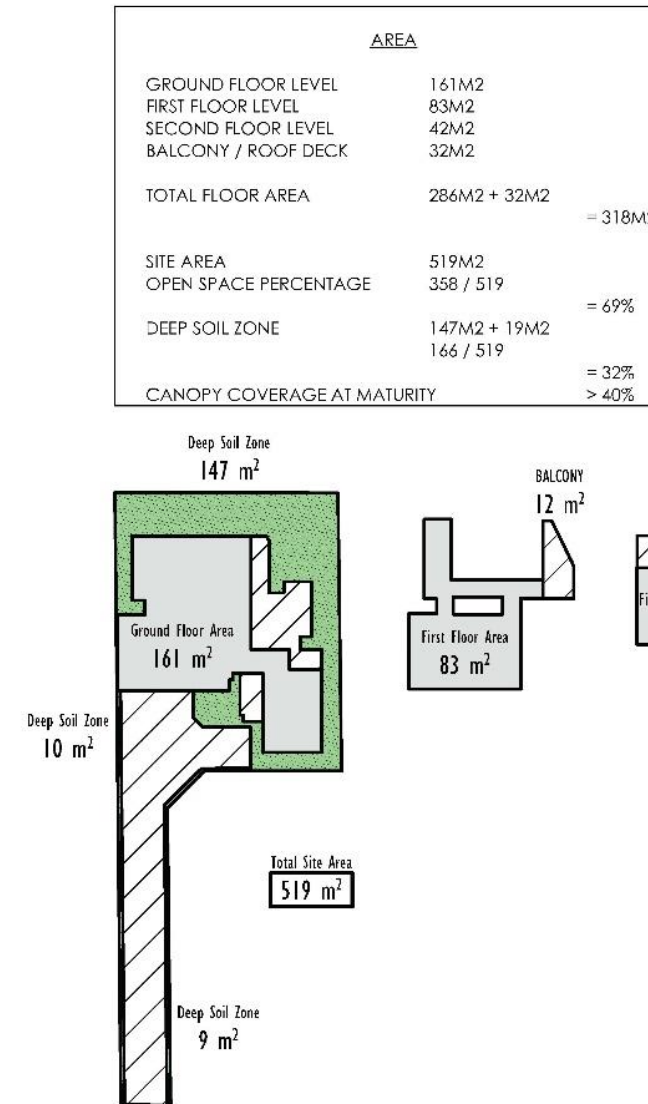
O20P01



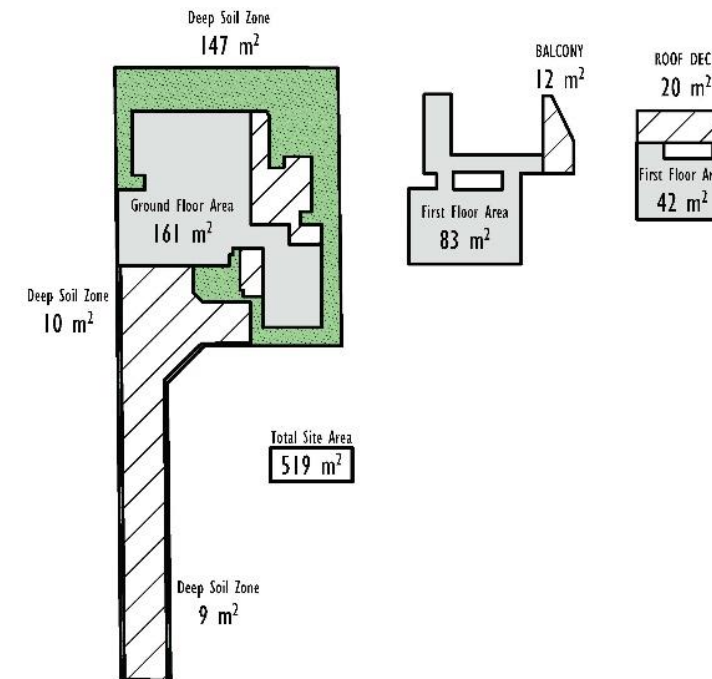
Adam & Aleishas Sea View Garden Villa

\$ 100 SITE PLANS
\$ 200 GROUND FLOOR PLAN
\$ 201 FIRST FLOOR PLANS
\$ 202 SECOND FLOOR PLANS
\$ 300 ELEVATIONS
\$ 301 ELEVATIONS
\$ 400 SECTIONS
\$ 500 ROOF PLAN AND RENDERS
DETAILED LANDSCAPE DESIGN
VARIATION DIAGRAM PACKAGE

OCKHM x HGLD
build your own pinnacles



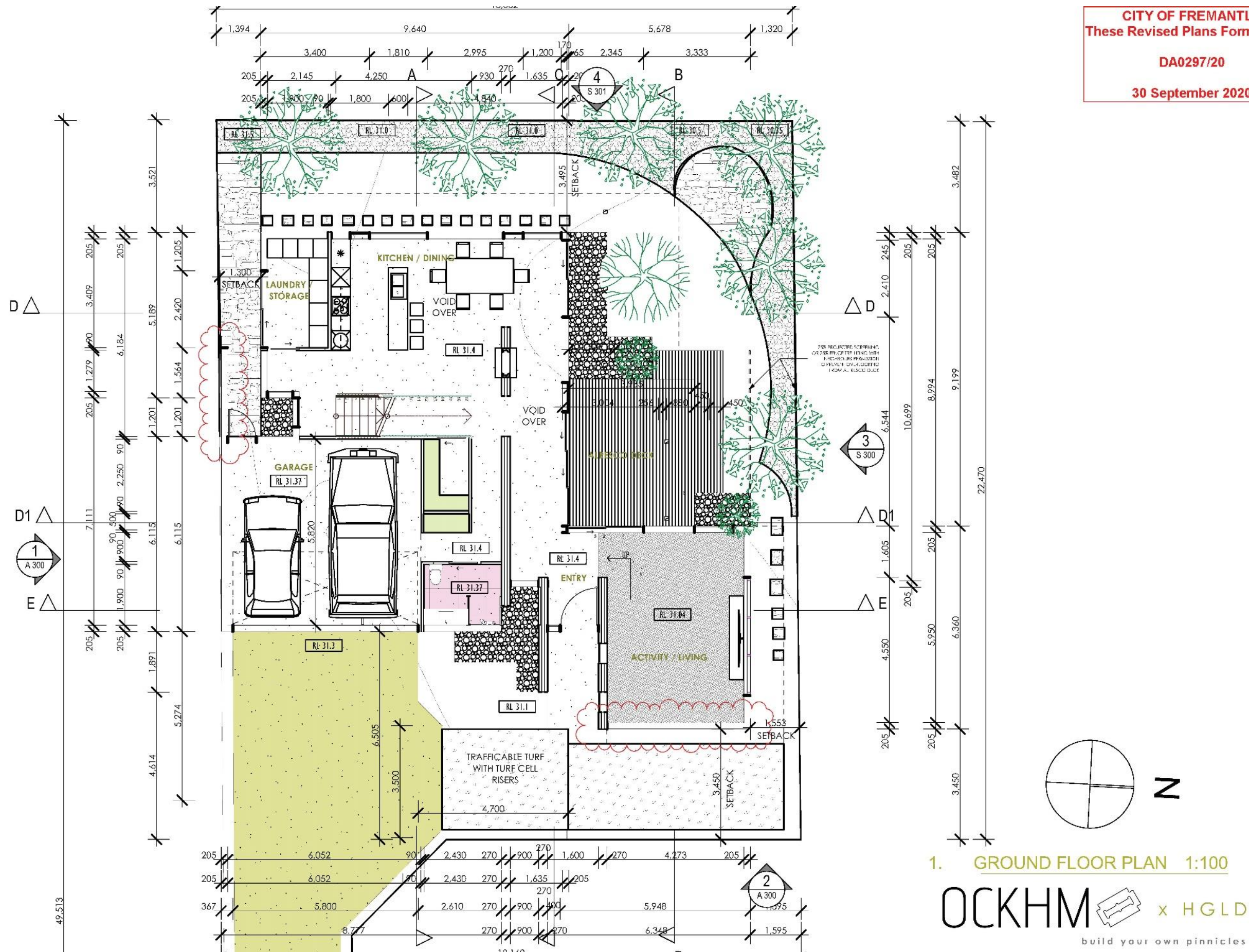
	AREA	
GROUND FLOOR LEVEL	161M2	
FIRST FLOOR LEVEL	83M2	
SECOND FLOOR LEVEL	42M2	
BALCONY / ROOF DECK	32M2	
TOTAL FLOOR AREA	286M2 + 32M2	= 318M2
SITE AREA	519M2	
OPEN SPACE PERCENTAGE	358 / 519	= 69%
DEEP SOIL ZONE	147M2 + 19M2	
	166 / 519	= 32%
CANOPY COVERAGE AT MATURITY		> 40%

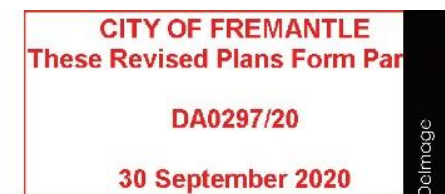


30 September 2020

O20P01

OCKHM  x HGLD
build your own pinnacles





CLIENT: A + A Delmage

STATUS: AMENDED ISSUE FOR PLANNING APPROVAL

SCALE: 1:100

DRAWING: FIRST FLOOR PLAN

REV. No. DA02

020P01

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30 September 2020

CLIENT: A + A Delmage

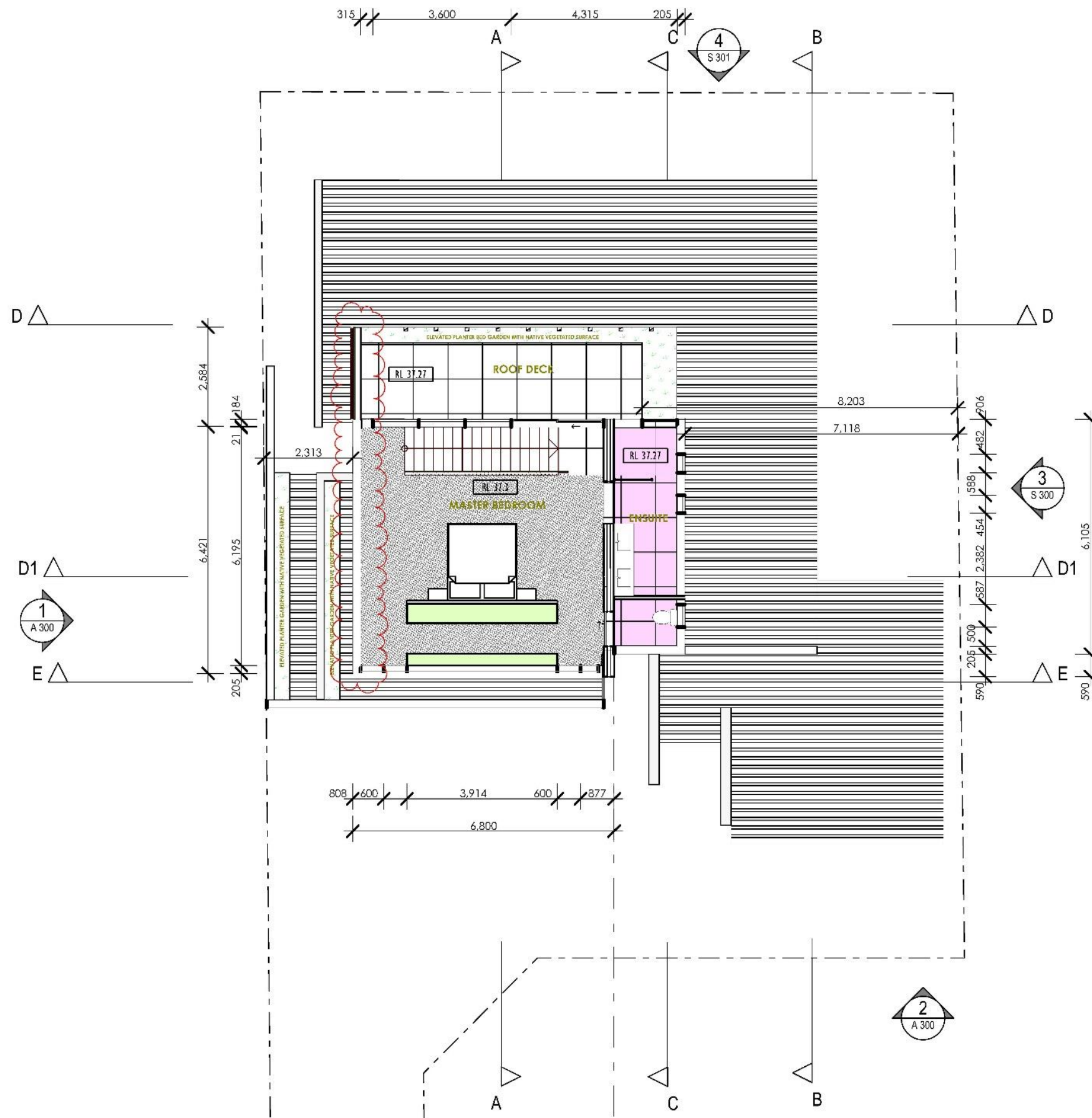
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SCALE: 1:100

DRAWING: SECOND FLOOR PLAN

REV. No. DA02

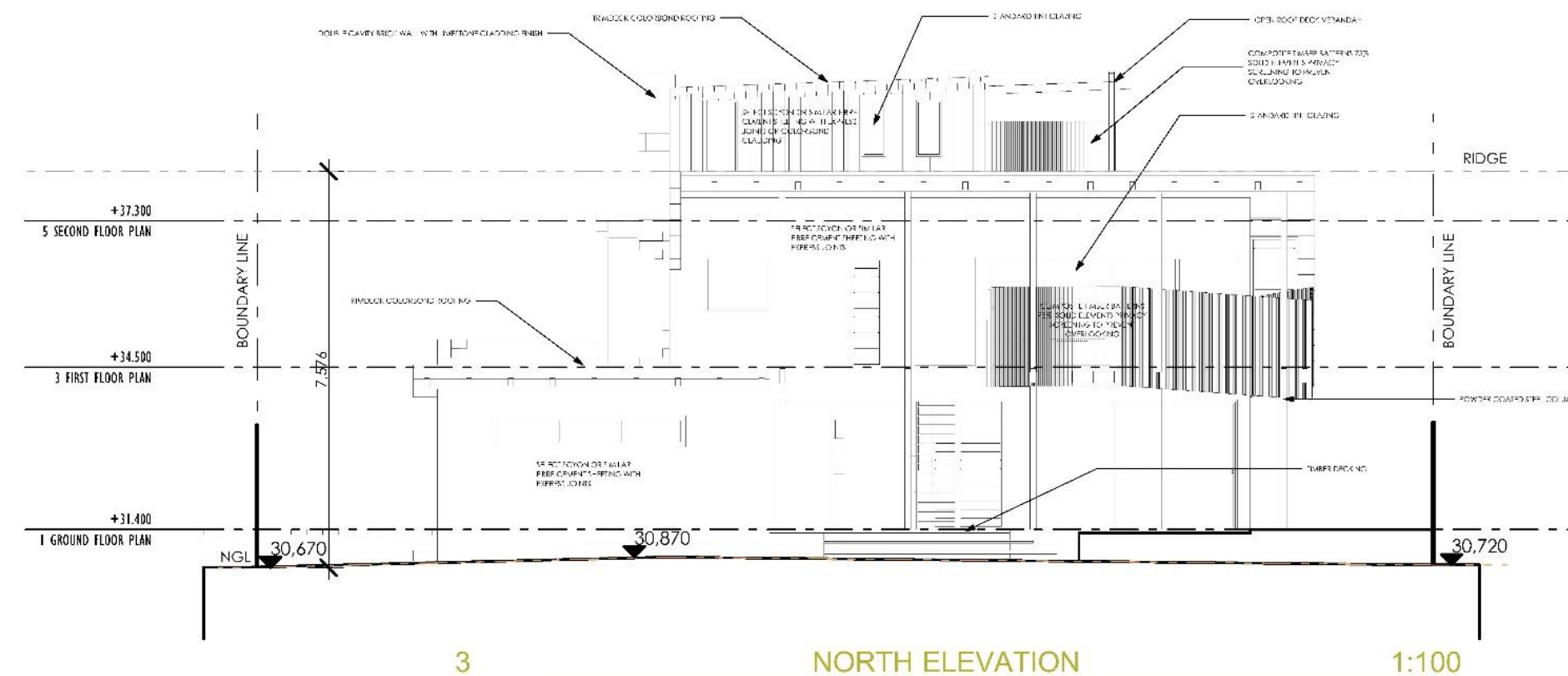
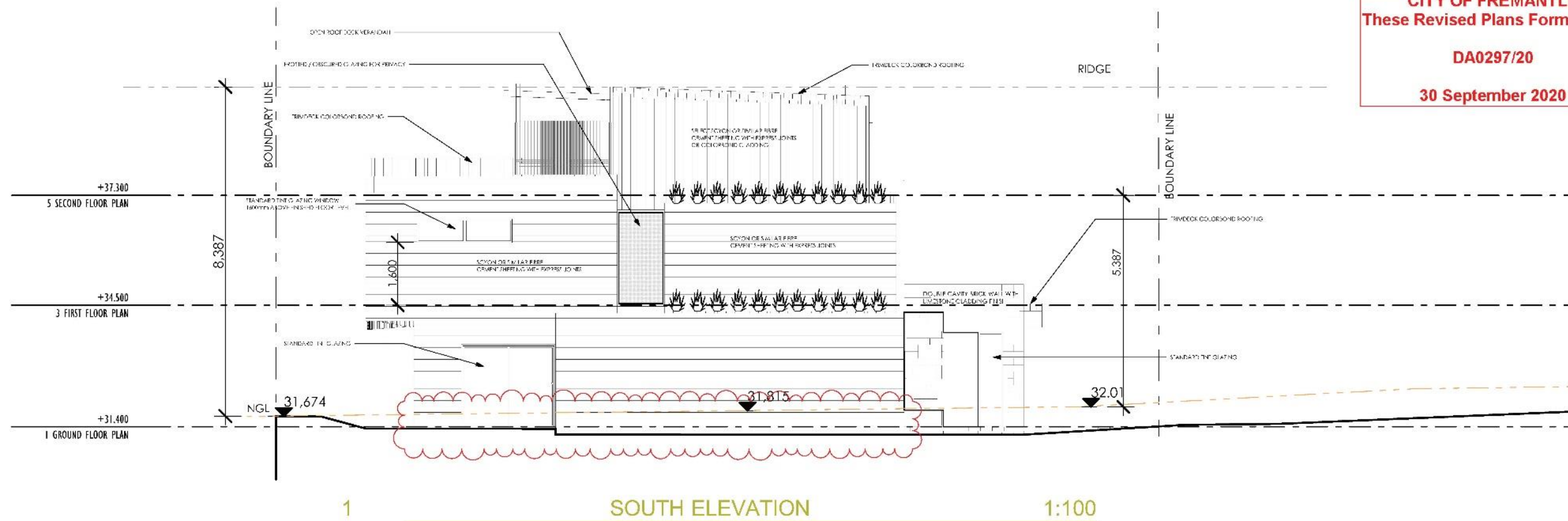
O20P01



5. SECOND FLOOR PLAN 1:100

OCKHM x **HGLD**
build your own pinnacles

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0297/20
30 September 2020



OCKHM x **HGLD**
build your own pinnacles

CLIENT: A + A Delmage

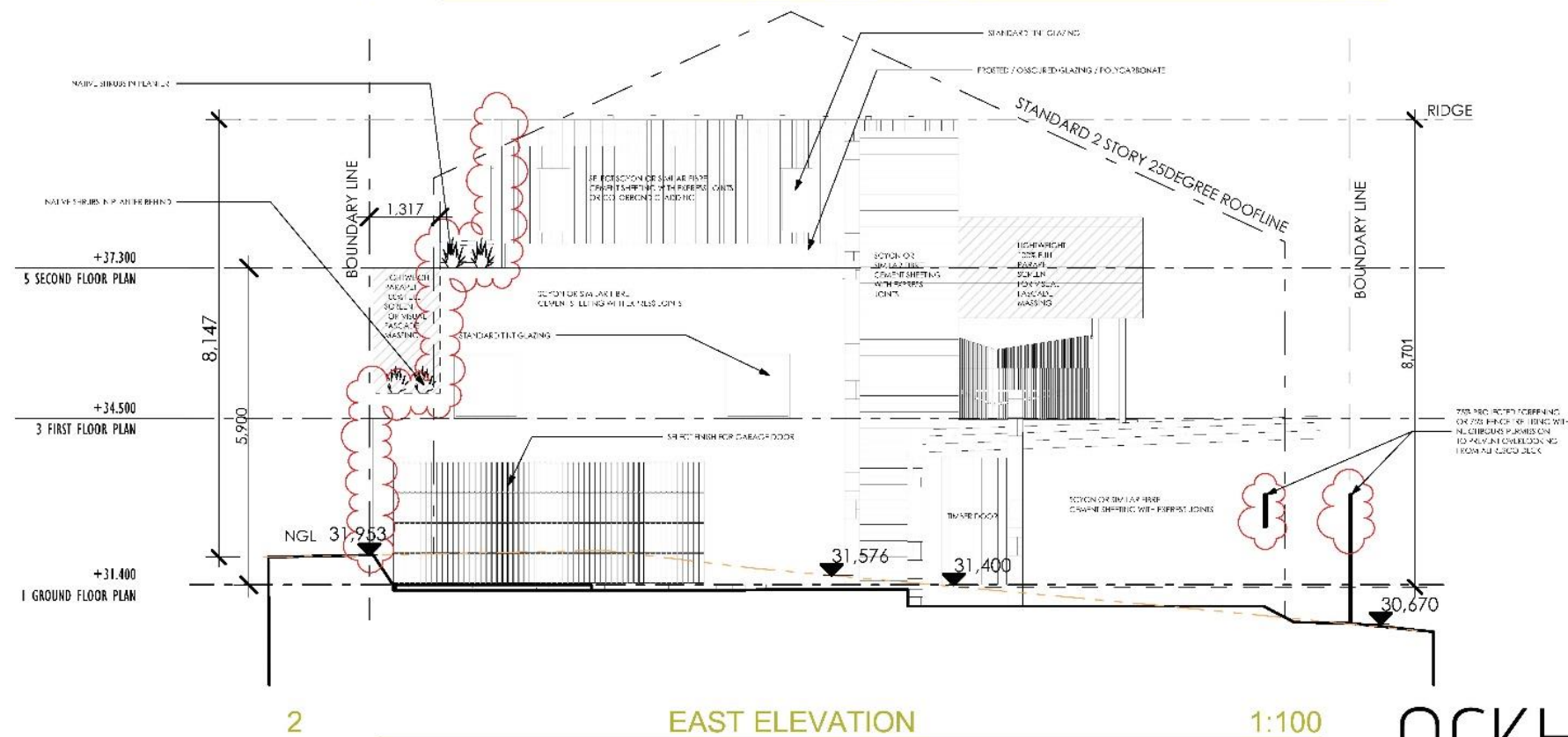
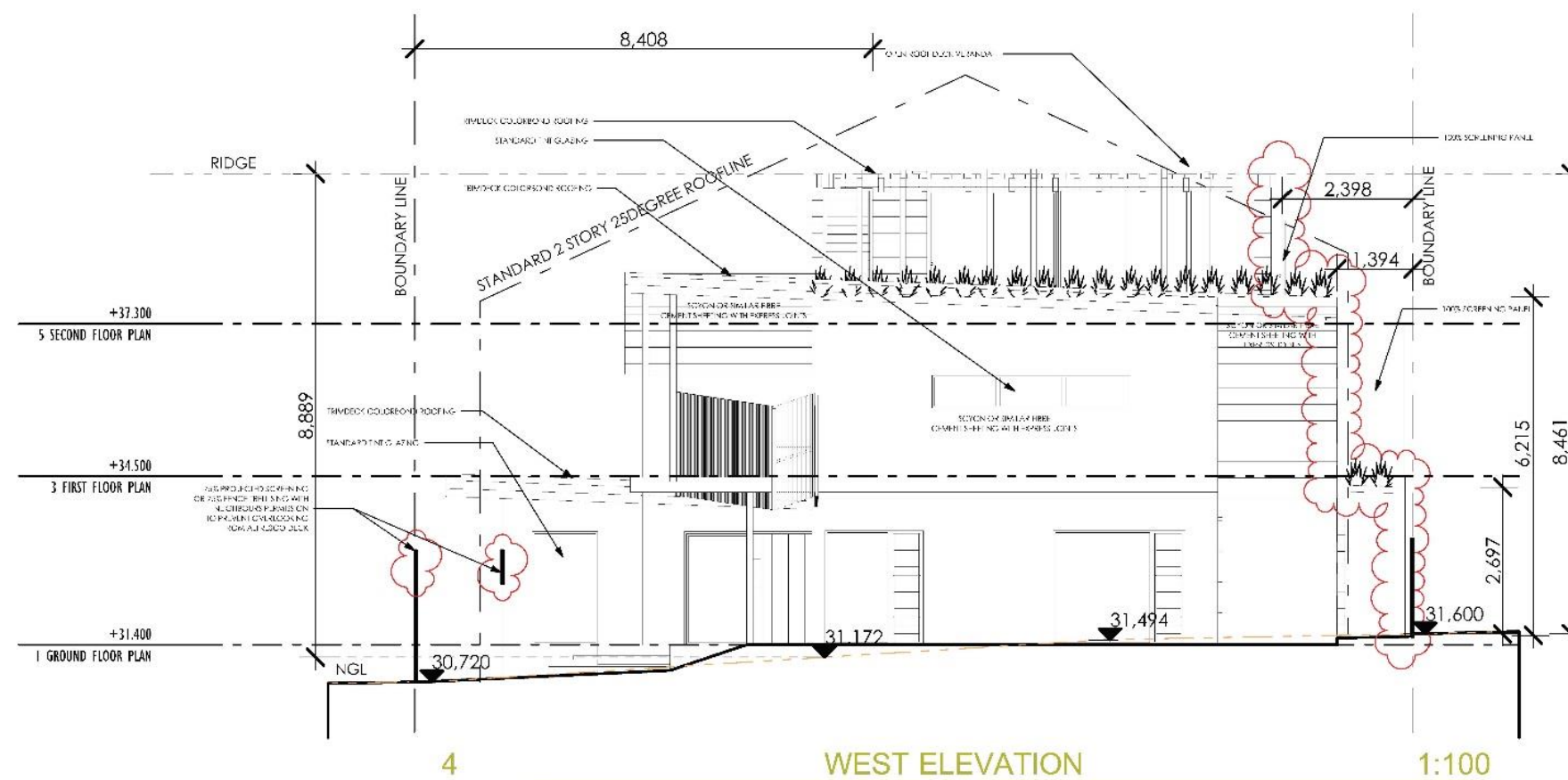
STATUS: AMENDED ISSUE FOR PLANNING APPROVAL

SCALE: 1:100

DRAWING: ELEVATIONS

REV. No. DA02

020P01



OCKHM x HGLD
build your own pinnacles

CITY OF FREMANTLE
These Revised Plans Form Part
DA0297/20
30 September 2020

CLIENT: A + A Delmage

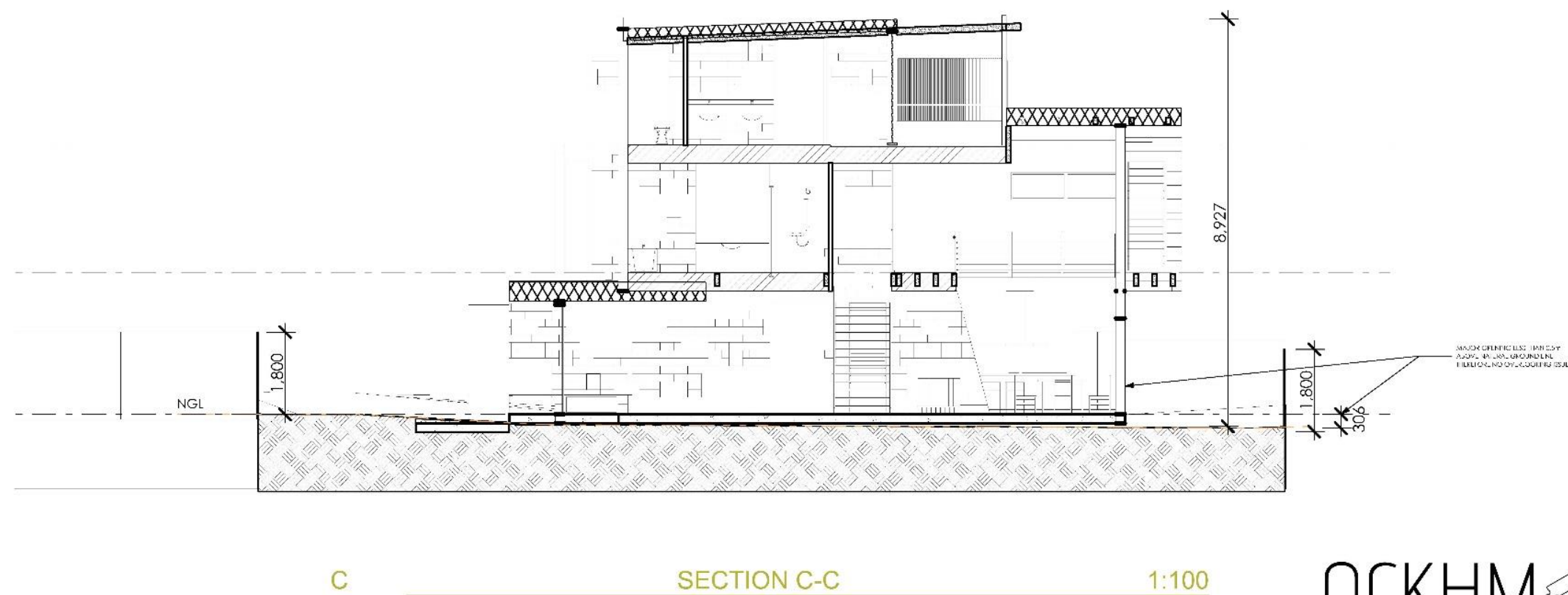
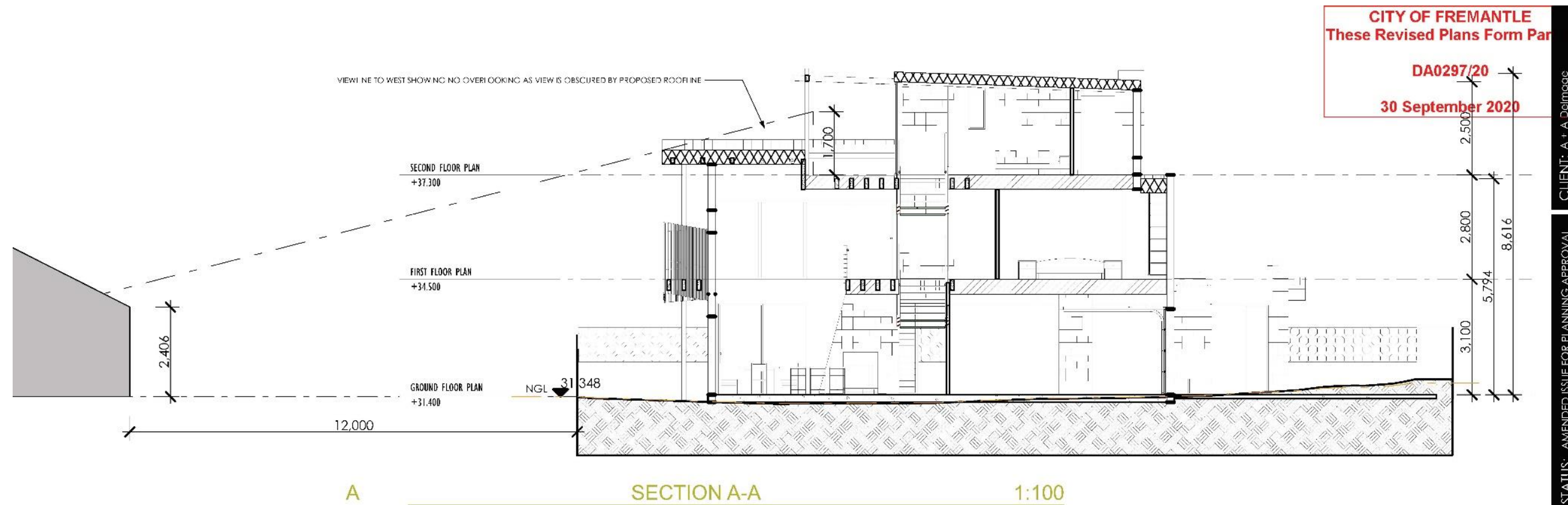
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SCALE: 1:100

DRAWING: ELEVATIONS

REV. No. DA02

O20P01



OCKHM x **HGLD**
build your own pinnacles

DRAWING: SECTIONS

REV. NO. DA02

020P01

PC2011 - 5 LEFROY ROAD, NO. 148 (LOT 21), BEACONSFIELD – THREE, TWO STOREY GROUPED DWELLINGS – (NB DA0334/20)

Agenda attachment 1 – Amended Development Plans

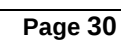
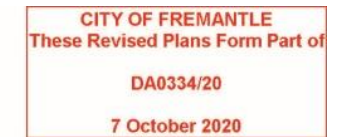
CITY OF FREMANTLE
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DA0334/20
7 October 2020

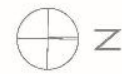


Robert & Charlene Tomren
3 PROPOSED DWELLINGS
#148 Lefroy Road
BEACONSFIELD WA 6162

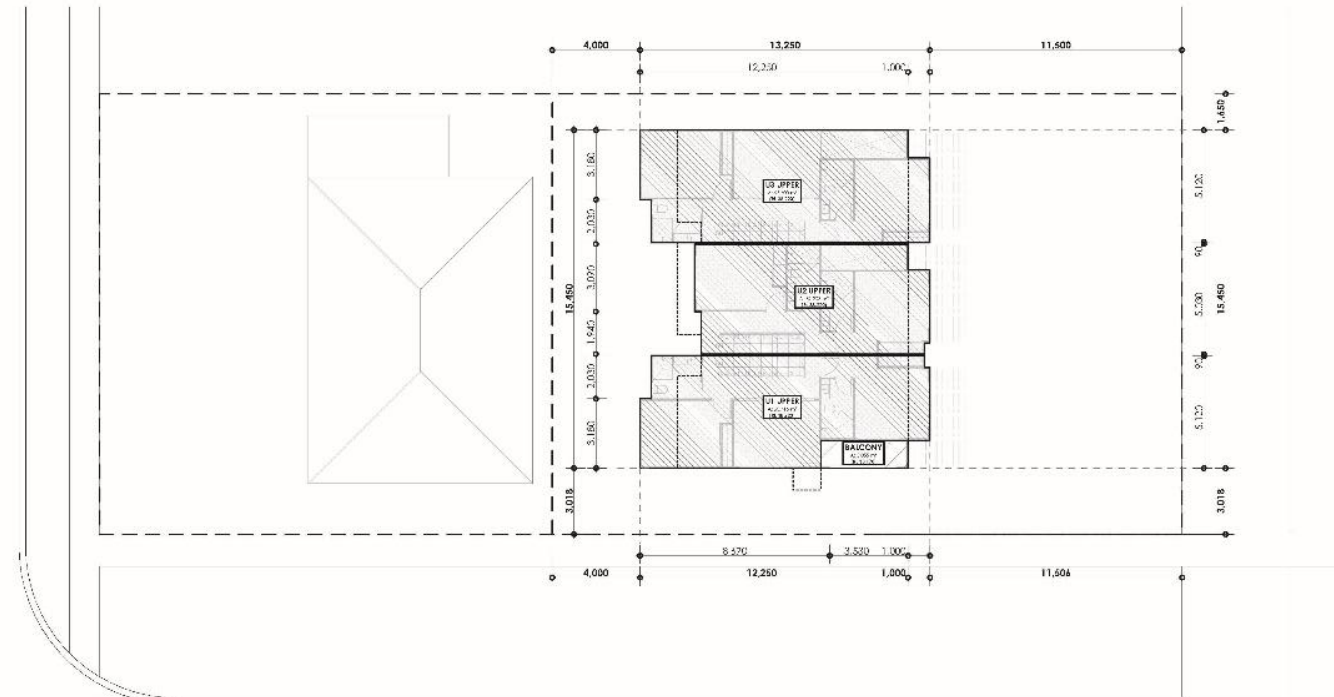


SHEET	NAME	DATE	COMMENT	REV
1	FEATURE SURVEY	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
2	SITE PLANS	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
3	GROUND FLOOR PLAN	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
4	UPPER FLOOR PLAN	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
5	ELEVATIONS	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
6	ELEVATIONS	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
7	LANDSCAPING PLAN	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G
8	PERSPECTIVES	7/10/2020 8:14 AM	REVISED TO COUNCIL FEEDBACK	G

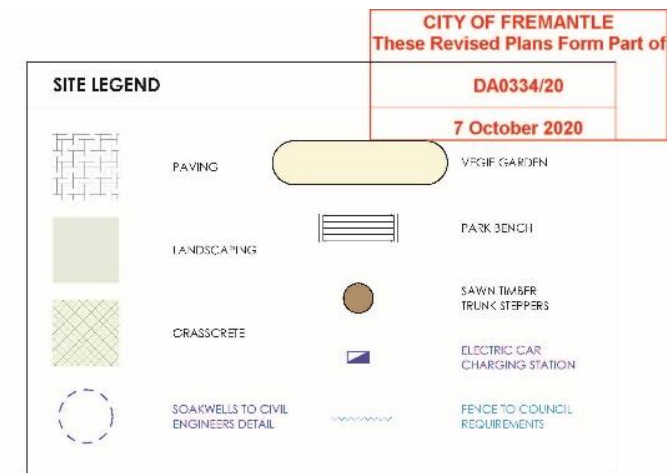




SITE PLAN - GROUND
1:200



SITE PLAN - UPPER
1:200



TOWNHOUSE 1	AREAS
UPPER FLOOR	63
GROUNDFLOOR	54
ALFRESCO	2
VERANDAH	9
BALCONY	5
	140 m ²

TOWNHOUSE 2	AREAS
UPPER FLOOR	52
GROUNDFLOOR	52
ALFRESCO	2
PORCH	1
	117 m ²

TOWNHOUSE 3	AREAS
UPPER FLOOR	46
GROUNDFLOOR	55
ALFRESCO	2
PORCH	1
	132 m ²

OPEN SPACE CALCULATION	
SITE AREA	= 994m ²
AREA COVERED =	= 358m ² = 36.0%
OPEN SPACE =	= 636m ² = 64.0%



STAGE: DEVELOPMENT APPROVAL
CLIENT: Robert & Charlene Tomren
PROJECT: 3 PROPOSED DWELLINGS
2148 Leifroy Road
BEACONSFIELD WA 6162

REV	COMMENT	DATE
01	REVISED TO TRACK	20/09/2020
02	REVISED TO TRACK	20/09/2020

DATE PRINTED: 20/09/2020 TIME PRINTED: 10:40 AM

SHEET 2 OF 8
DRAWING NO: 2.0



OPEN SPACE CALCULATION	
SITE AREA	= 994m ²
AREA COVERED =	= 358m ² = 36.0%
OPEN SPACE =	= 636m ² = 64.0%

LOCAL PLANNING POLICY 3.20
CLAUSE 4.1: SUSTAINABLE DESIGN:
PROPOSED SUSTAINABLE FEATURES:

- PROVISION OF R.O.D.ING AT LEAST 1000 LITRES OF RAINWATER PER DWELLING. THE RAINWATER IS TO BE CONNECTED TO WATER USE IN A DWELLING(S), E.G. TO IFT OR WASHING MACHINE, AND/OR USED FOR IRRIGATION ON PRIVATE OR COMMUNAL OUTDOOR AREAS, PREFERABLY THE DEEP PLANTING ZONE(S) ON THE DEVELOPMENT.
- THE PROVISION OF A MINIMUM 1.5kw PHOTOVOLTAIC SOLAR PANEL SYSTEM PER DWELLING.

NOTE: DOUBLE GLAZED WINDOWS TO UNITS 1 & 3 AS PER SUSAINABILITY REPORT.

TOWNHOUSE 1	AREAS
UPPER FLOOR	50
GROUND FLOOR	51
ALFRESCO	12
VERANDAH	9
BALCONY	3
	140 m ²

TOWNHOUSE 2	AREAS
UPPER FLOOR	52
GROUND FLOOR	52
ALFRESCO	12
PORCH	1
	117 m ²

TOWNHOUSE 3	AREAS
UPPER FLOOR	56
GROUND FLOOR	53
ALFRESCO	12
PORCH	1
	132 m ²

SITE LEGEND	
	PAVING
	LANDSCAPING
	GRASSCRETE
	SOAKWELLS TO CIVIL ENGINEERS DETAIL
	VEGETABLE GARDEN
	PARK BENCH
	SAWN TIMBER TRUNK STEPS
	ELECTRIC CAR CHARGING STATION
	FENCE TO COUNCIL REQUIREMENTS

CITY OF FREMANTLE
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7 October 2020

LEFROY ROAD

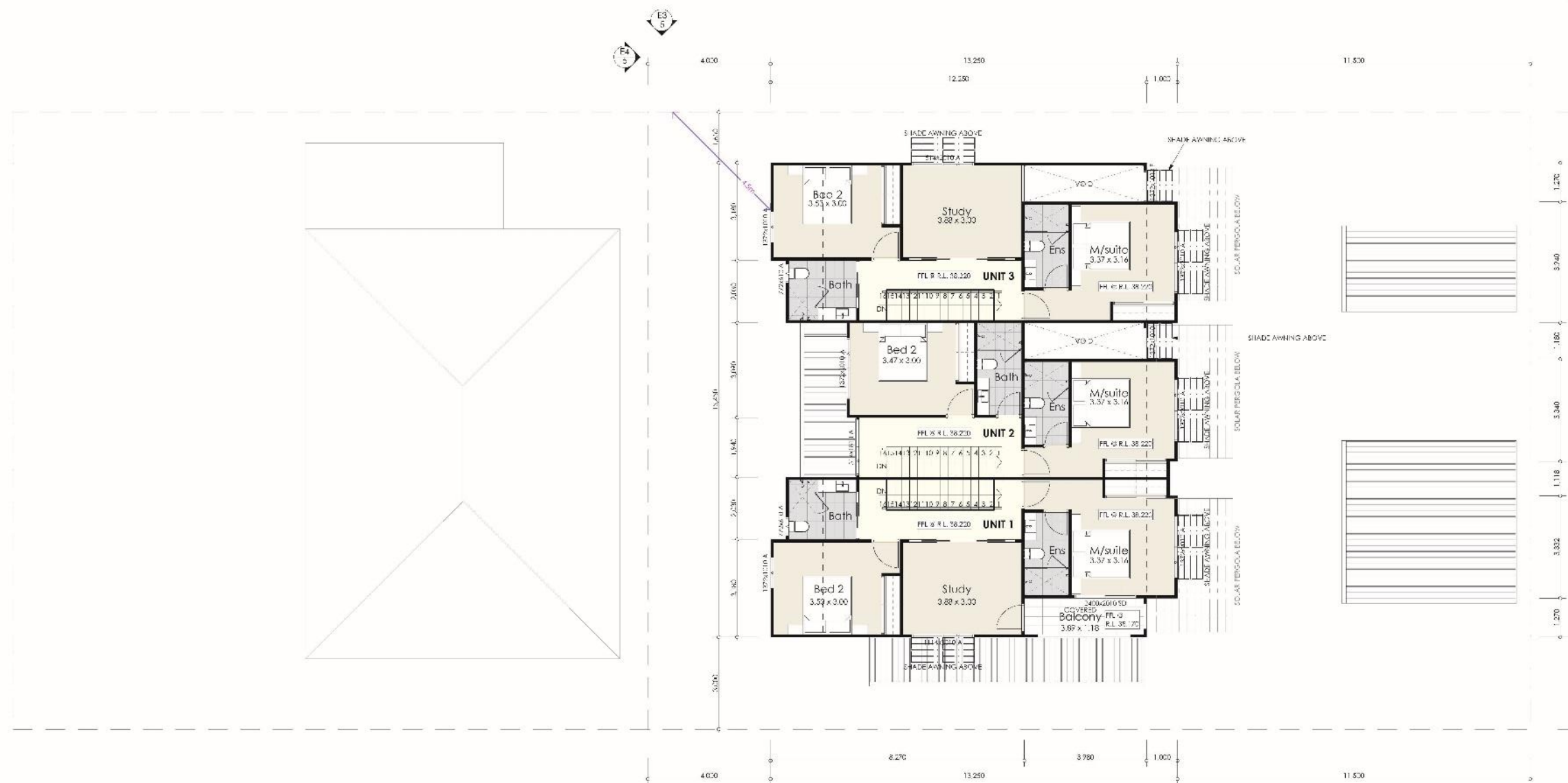
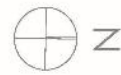


CADD STREET

GROUND FLOOR PLAN



STAGE: DEVELOPMENT APPROVAL	SHEET: GROUND FLOOR PLAN	SHEET NO: 3 OF 8
CLIENT: Robert & Charlene Tomren	REV: 1	DATE: 20/09/2020
PROJECT: 3 PROPOSED DWELLINGS	REV: 2	DATE: 20/09/2020
148 Lefroy Road	REV: 3	DATE: 20/09/2020
BEACONSFIELD WA 6162	REV: 4	DATE: 20/09/2020
	REV: 5	DATE: 20/09/2020
	REV: 6	DATE: 20/09/2020
	REV: 7	DATE: 20/09/2020
	REV: 8	DATE: 20/09/2020
	REV: 9	DATE: 20/09/2020
	REV: 10	DATE: 20/09/2020



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LOCAL PLANNING POLICY 3.20
CLAUSE 4.1: SUSTAINABLE DESIGN:

PROPOSED SUSTAINABLE FEATURES:

- PROVISION OF HOLDING AT LEAST 1000 LITRES OF RAINWATER PER DWELLING. THE RAINWATER IS TO BE CONNECTED TO WATER USE IN A DWELLING(S), E.G. TOILET OR WASHING MACHINE AND/OR USED FOR IRRIGATION ON PRIVATE OR COMMUNAL OUTDOOR AREAS, PREFERABLY THE DEEP PLANTING ZONE(S) ON THE DEVELOPMENT.
- THE PROVISION OF A MINIMUM 1.5kw PHOTOVOLTAIC SOLAR PANELS PER DWELLING.

NOTE: DOUBLE GLAZED WINDOWS TO UNITS 1 & 3 AS PER SLS AVAILABILITY REPORT.

TOWNHOUSE 1	AREAS
UPPER FLOOR	60
GROUND FLOOR	54
ALFRESCO	12
VERANDA	1
BALCONY	1
	140 m ²

TOWNHOUSE 2	AREAS
UPPER FLOOR	52
GROUND FLOOR	52
ALFRESCO	12
NOTCH	1
	117 m ²

TOWNHOUSE 3	AREAS
UPPER FLOOR	66
GROUND FLOOR	53
ALFRESCO	12
NOTCH	1
	132 m ²

UPPER FLOOR PLAN
1:100



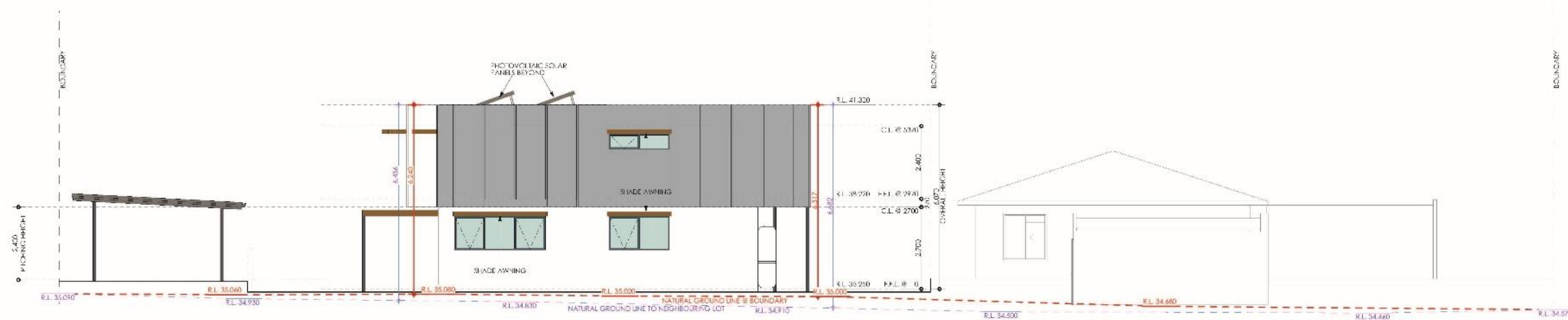
STAGE: DEVELOPMENT APPROVAL
CLIENT: Robert & Charlene Tomren
PROJECT: 3 PROPOSED DWELLINGS
2148 Lefroy Road
BEACONSFIELD WA 6162

REV	COMMENT	DATE
1	ISSUED FOR PERMIT TRACK	20/10/2020
2	ISSUED FOR PERMIT TRACK	20/10/2020
3	ISSUED FOR PERMIT TRACK	20/10/2020
4	ISSUED FOR PERMIT TRACK	20/10/2020

DATE PRINTED: 20/10/2020 **TIME PRINTED:** 10:00 AM

SHEET NO: 4
OF 8
JOB NO: P2020-0928
DRAWING NO: 4.0

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DA0334/20
7 October 2020



STAGE	DEVELOPMENT APPROVAL	SHEET	ELEVATIONS	SHEET NO.	5
CLIENT	Robert & Charlene Tomren	DATE	7 October 2020	OF	8
PROJECT	3 PROPOSED DWELLINGS 1148 LeRoy Road BEACONSFIELD WA 6162	REV	COMMENT	DATE	
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		02	REVISED PERMIT APPLICATION	7 October 2020	
		03	REVISED PERMIT APPLICATION	7 October 2020	
		04	REVISED PERMIT APPLICATION	7 October 2020	
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		99	REVISED PERMIT APPLICATION	7 October 2020	
		100	REVISED PERMIT APPLICATION	7 October 2020	

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DA0334/20
7 October 2020



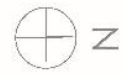
E1 FENCE ELEVATION (CADD STREET)
1:100



E2 FENCE ELEVATION (R.O.W.)
1:100



STAGE: DEVELOPMENT APPROVAL	SHEET: ELEVATIONS	SHEET P-1
CLIENT: Robert & Charlene Tomren	REV: 01	DATE: 7 October 2020
PROJECT: 3 PROPOSED DWELLINGS	COMMENT: AMEND TO BE 4 DWELLINGS	DATE: 7 October 2020
2148 Lefroy Road	DATE PRINTED: 7 October 2020	TIME PRINTED: 10:00 AM
BEACONSFIELD WA 6162		
		6 OF 8
		JOB NO: P2020-0925
		DRAWING NO: 6.03



LANDSCAPING PLAN
1:200



DEEP PLANTING ZONE PLAN
1:200



PROJECT: DEVELOPMENT APPROVAL	SHEET: LANDSCAPING PLAN	SHEET NO: 7 OF 8
CLIENT: Robert & Charlene Tamren	DATE: 10/09/2020	DATE: 10/09/2020
PROJECT: 3 PROPOSED DWELLINGS	DATE: 10/09/2020	DATE: 10/09/2020
1148 LeRoy Road	DATE: 10/09/2020	DATE: 10/09/2020
BLACONSLD WA 6162	DATE: 10/09/2020	DATE: 10/09/2020

CITY OF FREMANTLE
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LANDSCAPING LEGEND

DA0334/20

7 October 2020

BOTANICAL NAME	COMMON NAME	TYPE	QTY
 <i>Origanum vulgare</i>	OREGANO	GROUND COVER	95
 <i>Lavandula dentata</i>	FRENCH LAVENDER	SMALL SHRUB	72
 <i>Rosemarinus officinalis</i>	ROSEMARY	SMALL SHRUB	45
 <i>Olea europaea</i>	OLIVE OLEIFERA	WIDE SPREAD	64
 <i>Palmetto</i>	PALM TREE	SMALL TREE	15
 <i>Agave</i>	WAX PALM	TREE	1

TOTAL # = 291

PAVING

MULCH

GRASS

DEEP SOIL ZONE

NOTE: DEEP SOIL ZONES ARE A MINIMUM OF 100mm AS DEFINED IN DESIGN WA GUIDELINES

OREGANO

FRENCH LAVENDER

ROSEMARY

OLIVE OLEIFERA

PALM TREE

WAX PALM

LANDSCAPING NOTES

- SPECIES HAVE BEEN SELECTED TO SUIT THE LOCAL AREA AND TO BE APPROPRIATE TO THE SITE. SPECIES HAVE BEEN SELECTED TO BE APPROPRIATE TO THE SITE AND TO BE APPROPRIATE TO THE SITE.
- GARDEN BEDS & VERGES TO BE MULCHED TO A DEPTH OF NO LESS THAN 100mm.
- TREES ARE TO BE SEVEN-METER AT A MINIMUM OF 1.5m HIGH.
- ALL OTHER PLANTS TO HAVE A MINIMUM POT SIZE OF 200mm AT A STAGING OF 800mm CENTRES.
- SHOULD THE ABOVE SELECTED SPECIES NOT BE AVAILABLE, OTHER SPECIES MAY BE SELECTED TO REPLACE THE SPECIES NOT AVAILABLE.
- ALL GARDEN BEDS AND VERGES TO BE MULCHED TO A DEPTH OF NO LESS THAN 100mm. MULCH TO BE APPLIED TO A DEPTH OF NO LESS THAN 100mm.
- GARDEN BEDS TO BE SEVEN-METER AT A MINIMUM OF 1.5m HIGH.

DEEP PLANTING ZONE CALCULATION

SITE AREA = 991m² TOTAL DEEP PLANTING ZONE PROVIDED = 257m² (25.8%)

DISTRIBUTION OF DEEP PLANTING ZONE

DEEP PLANTING ZONE TO EXISTING DWELLING = 85.9m² (8.7%)

DEEP PLANTING ZONE TO REAR (PROPOSED DEVELOPMENT) = 171.1m² (17.1%)

LANDSCAPE AREA CALCULATION

SITE AREA = 991m² LANDSCAPE AREA = 335m² (33.7%)

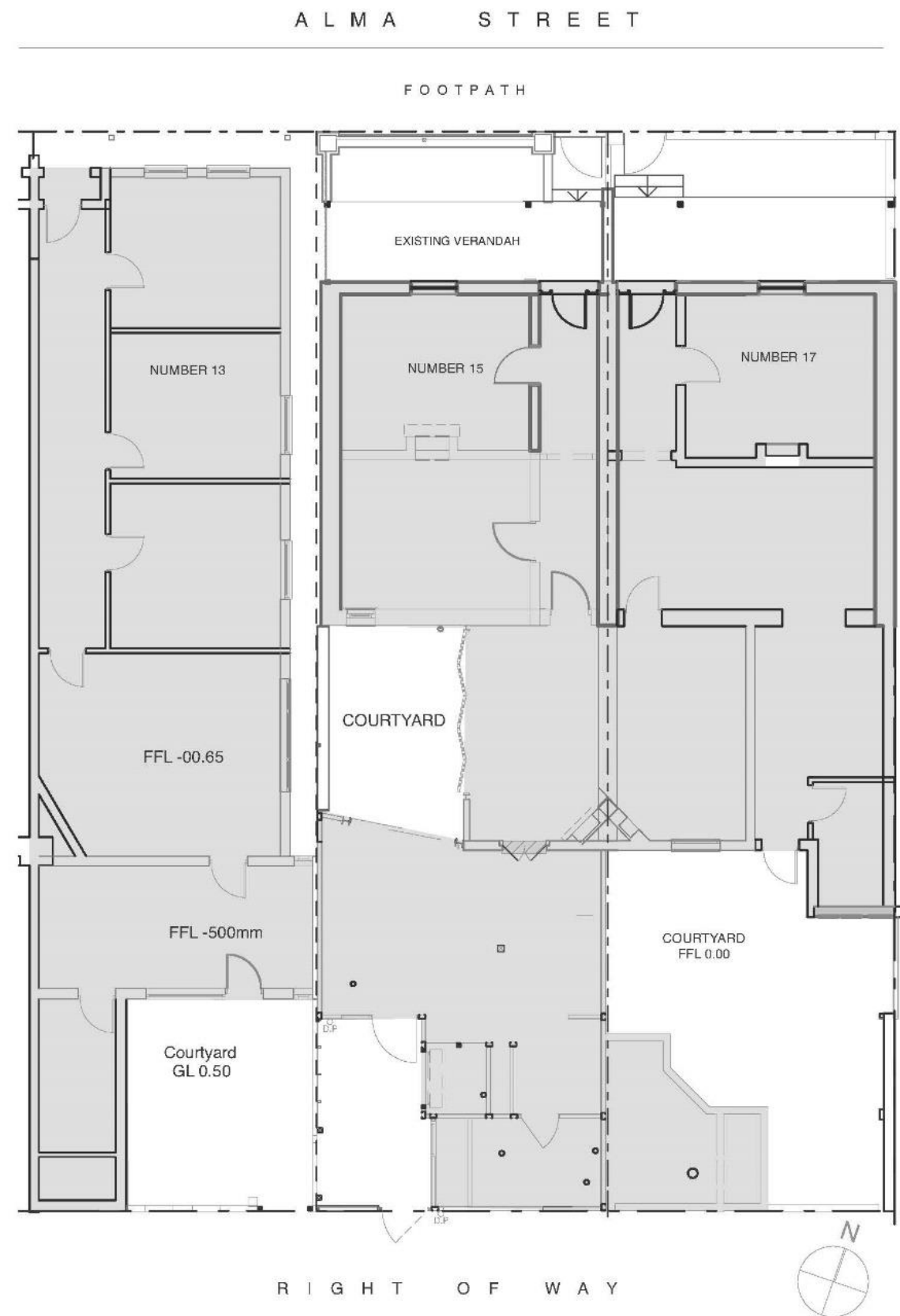


STAGE: DEVELOPMENT APPROVAL	SHEET: PERSPECTIVES	SHEET NO: 8 OF 8
CLIENT: Robert & Charlene Tomren	REV: 1	DATE: 7 October 2020
PROJECT: 3 PROPOSED DWELLINGS	COMMENTS: 1. REVISED PERMITS	JOB NO: P2020-0925
2. 148 Lefroy Road		DRAWING NO: 8.03
BEACONSFIELD WA 6162	DATE PRINTED: 7 October 2020	TIME PRINTED: 3:48 AM

PC2011 - 6 ALMA STREET, NO. 15 (STRATA LOT 1) FREMANTLE - ADDITIONS AND ALTERATIONS TO EXISTING GROUPED DWELLING (JK DA0289/20)

Agenda attachment 1 – Amended Plans

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0289/20
16 September 2020



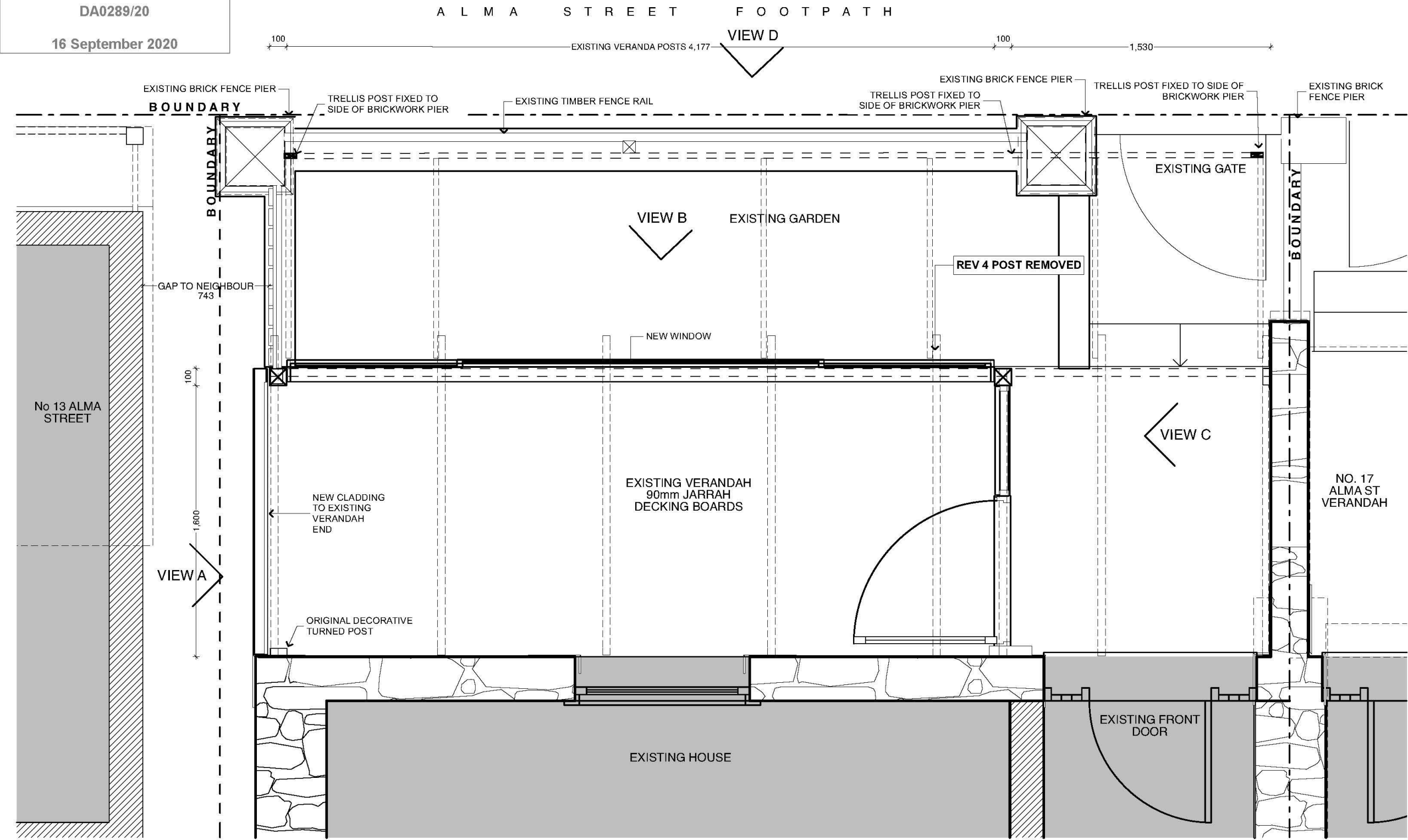
SITE PLAN SCALE 1:100

15 ALMA STREET VERANDAH
23 JULY 2020
A3 Scaled layout
Jocelyn Broderick 0414 097 664

CITY OF FREMANTLE
These Revised Plans Form Part of

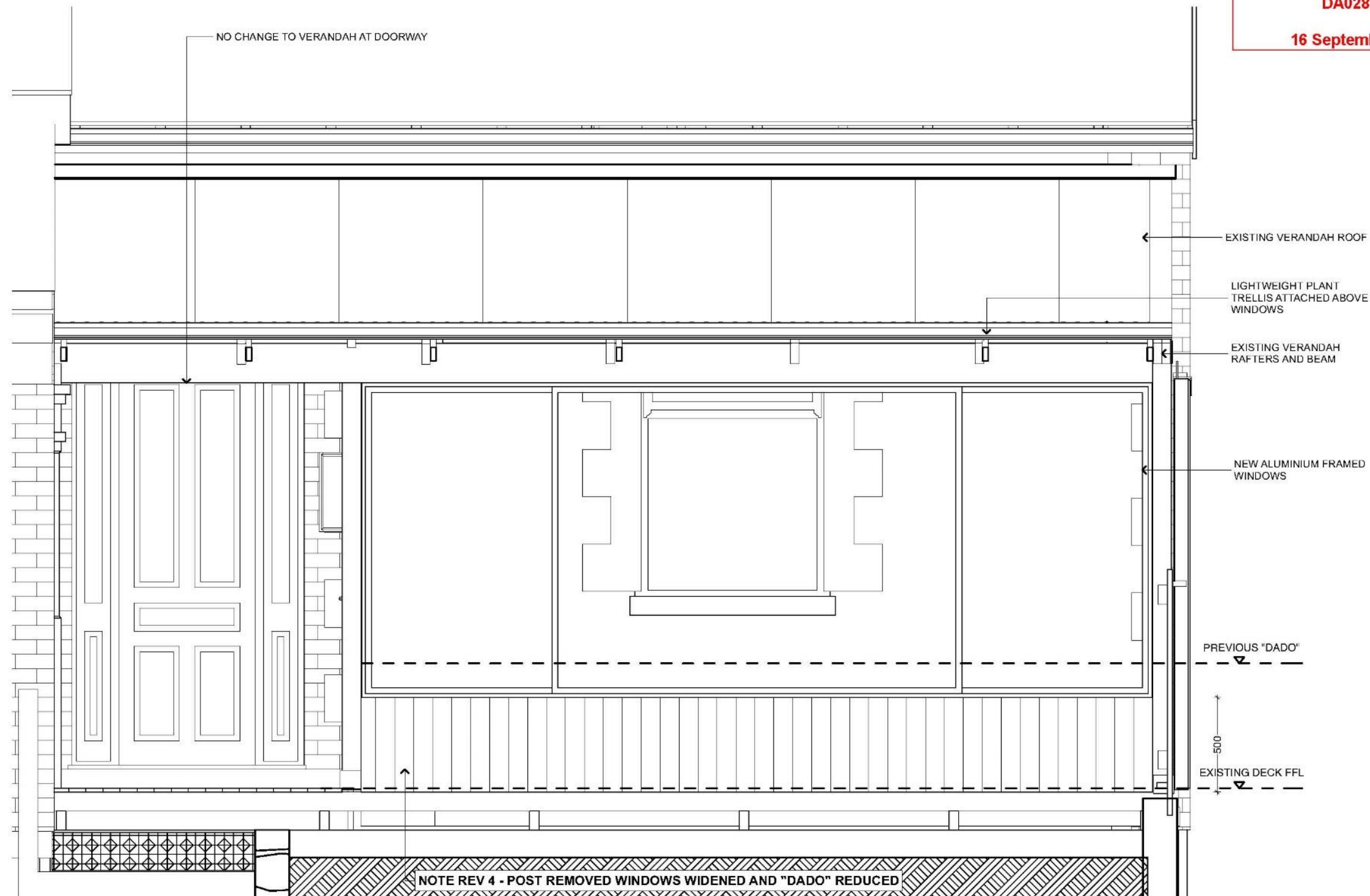
DA0289/20

16 September 2020



15 ALMA STREET VERANDAH
REV4 16th September 2020
A3 Scaled layout
Jocelyn Broderick 0414 097 664

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0289/20
16 September 2020



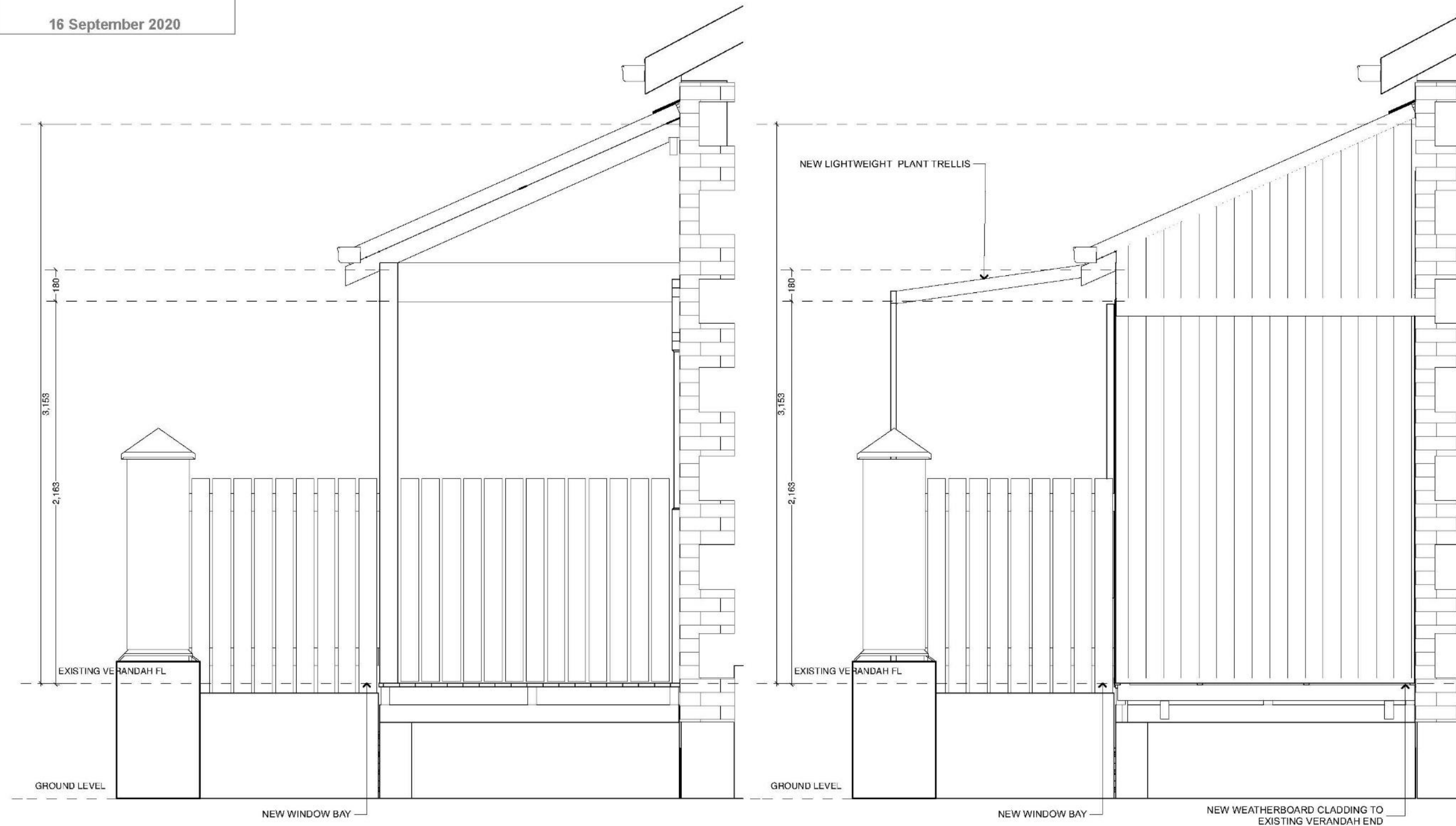
VIEW B
1:20

15 ALMA STREET VERANDAH
REV4 16th September 2020
A3 Scaled layout
Jocelyn Broderick 0414 097 664

CITY OF FREMANTLE
These Revised Plans Form Part of

DA0289/20

16 September 2020



VIEW A - EXISTING
1.20

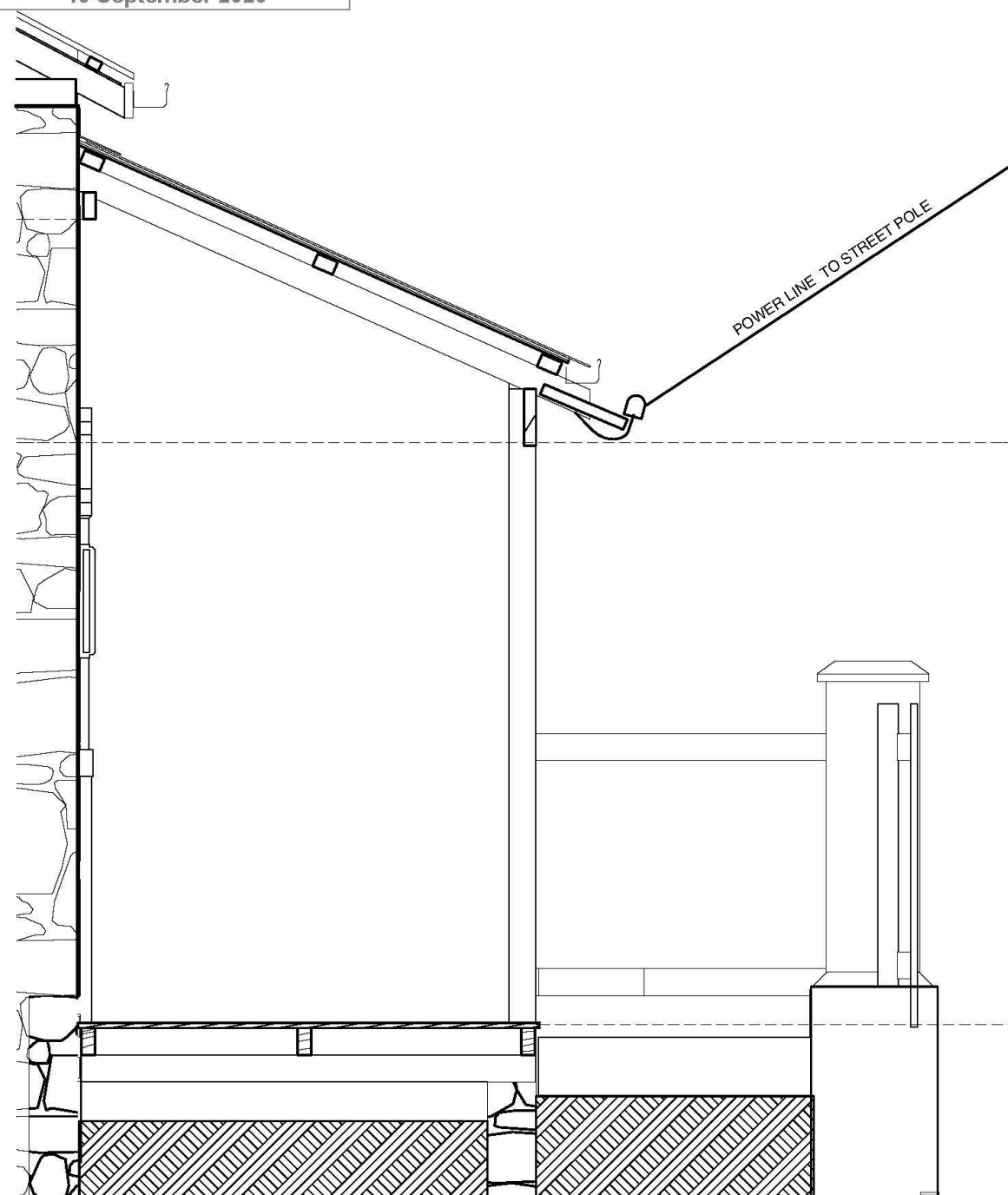
VIEW A - PROPOSED
1.20

15 ALMA STREET VERANDAH
REV4 16th September 2020
A3 Scaled layout
Jocelyn Broderick 0414 097 664

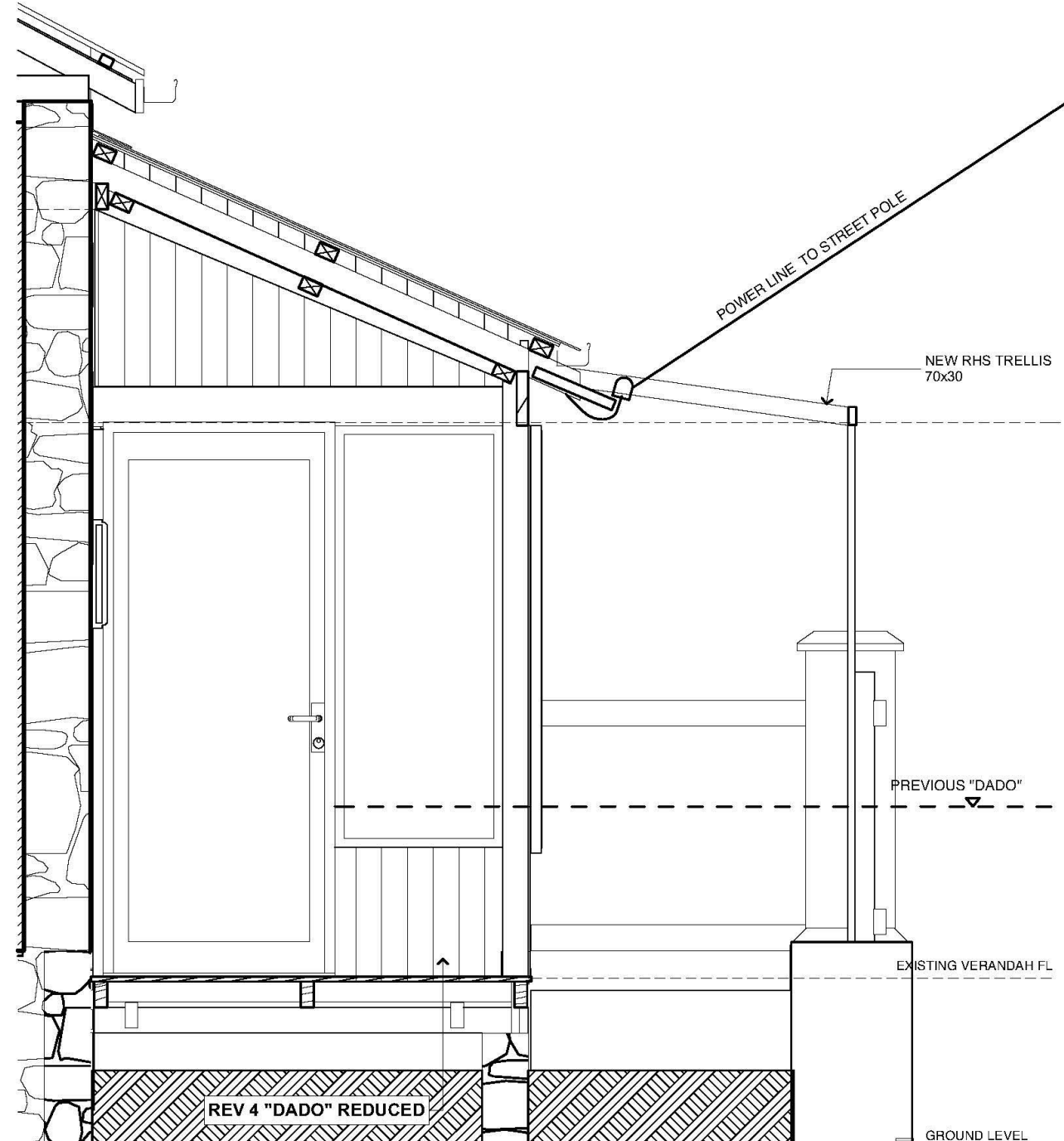
CITY OF FREMANTLE
These Revised Plans Form Part of

DA0289/20

16 September 2020



VIEW C - EXISTING
1.20



VIEW C- PROPOSED
1.20

15 ALMA STREET VERANDAH
REV4 16th September 2020
A3 Scaled layout
Jocelyn Broderick 0414 097 664

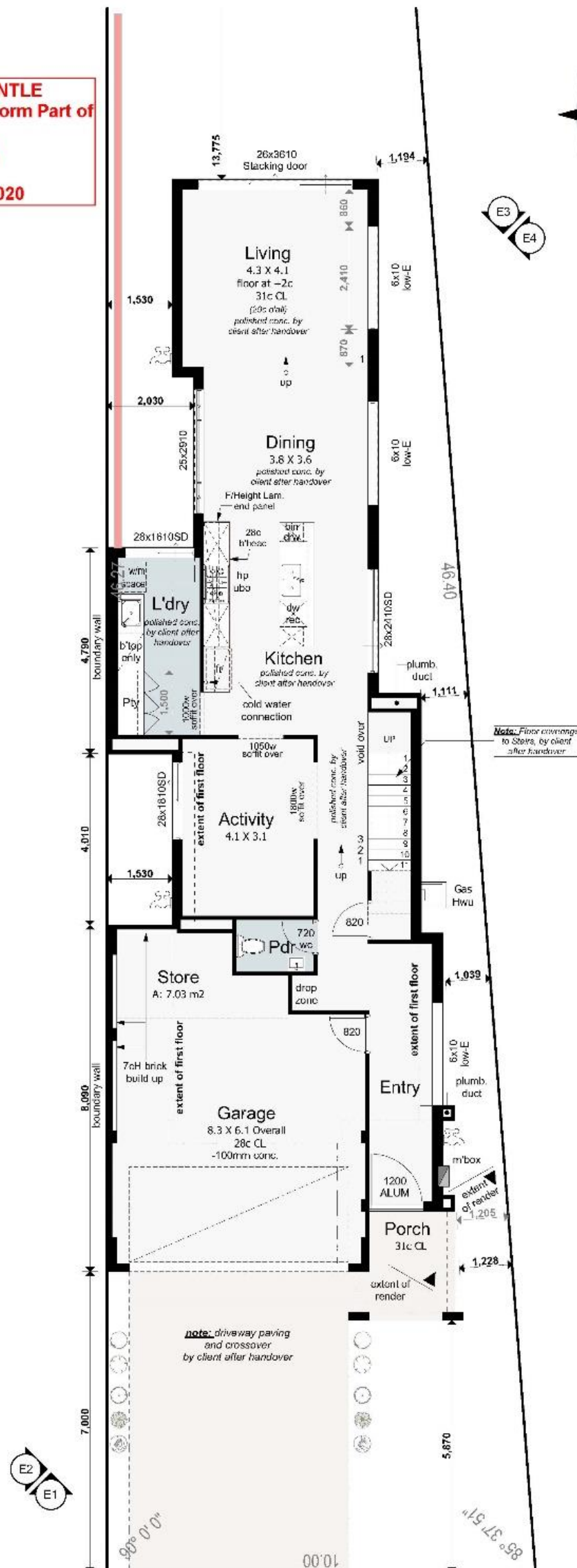
PC2011 - 7 SHEPHERD STREET, NO. 67B (STRATA LOT 1), BEACONSFIELD – TWO STOREY SINGLE HOUSE (TG DA0207/20)

Agenda attachment 1 – Amended Development Plans

Floor Plans

7:100

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0207/20
4 September 2020

Special
Advantage

Ground Floor	111.37
First Floor	112.46
Garage	42.14
Porch	5.46
Total:	271.43 m²
Perimeter Ground:	64.760m
Perimeter First:	60.310m

2c Brickwork
2c brickwork laid 1/3 bond to
entire home (refer to plan for
render extents);

31c ceiling to Ground Floor

28c ceilings to Upper Floor
(unless otherwise noted)

Elevation:
Minimum 3.2m Front Elevation
Roof Pitch Minimum 27.50°

Zoning	R20
Percentage allowed	50.00%
Site Lot Area	380.88m ²
Site Cover Allowed	190.44m ²
Ground Floor	111.37m ²
Garage	42.14m ²
Site Cover Used	153.51m ²
Actual Coverage	40.30%

Mandatory Design Compliance
(City of Fremantle)

- ☒ Planning Required
- ☒ R-Code Variation

R-Code Variation Acknowledgement:
The proposed design requires a variation to the Residential Design Codes and therefore will be at the discretion of the local authority. As a result proceeding with this design may incur additional costs and time delays.

REASONS: (RCodes)
 - Survey Strata
 - Reduced U/F Side
 Setbacks for wall lengths
 - Over Max B'lding
 Height
 - Overheight B'dry Wall
 - Reduced window
 setback

REASONS: (Residential Streetscape Policy - LPP 2.9)
- Reduced Front Setback (should be 10m)
- Over Max Bldg Height

Window note:
awning/sliding windows opening less than 1.7m from floor are to be restricted to only open 125mm as per BCA requirements.

Planting _egend

Types of and size of plants indicated are indicative only and final selection is subject to availability at time of planting. All open / common areas to be provided. With a selection of ground covers and Mulched.

- 1. Phoradendron 'chief'
- 2. Pennisetum advena 'abundant'
- 3. Dracaena 'black knight'
- 4. Cordyline 'sundance'
- 5. Dandelion 'little jess'

CLIENT: Mrs. Janke Lucas & Mr. Mitchell Lucas

ADDRESS: Lot 1 (#67B) Shepherd Street BEACONSFIELD

JOB NUMBER: 56554

CONSULTANT: Natalie Scott

CONSULTANT: Natalie Scott
 Web: grjcdhiden.com | Des: 50-000-06-7-00-06-54-06-54-PCW2.p.a

CONCEPT#:

PCA2 11/08/2020 DC

2TP	29/05/2020	M I
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1	11/05/2020	DC
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CLIENT:

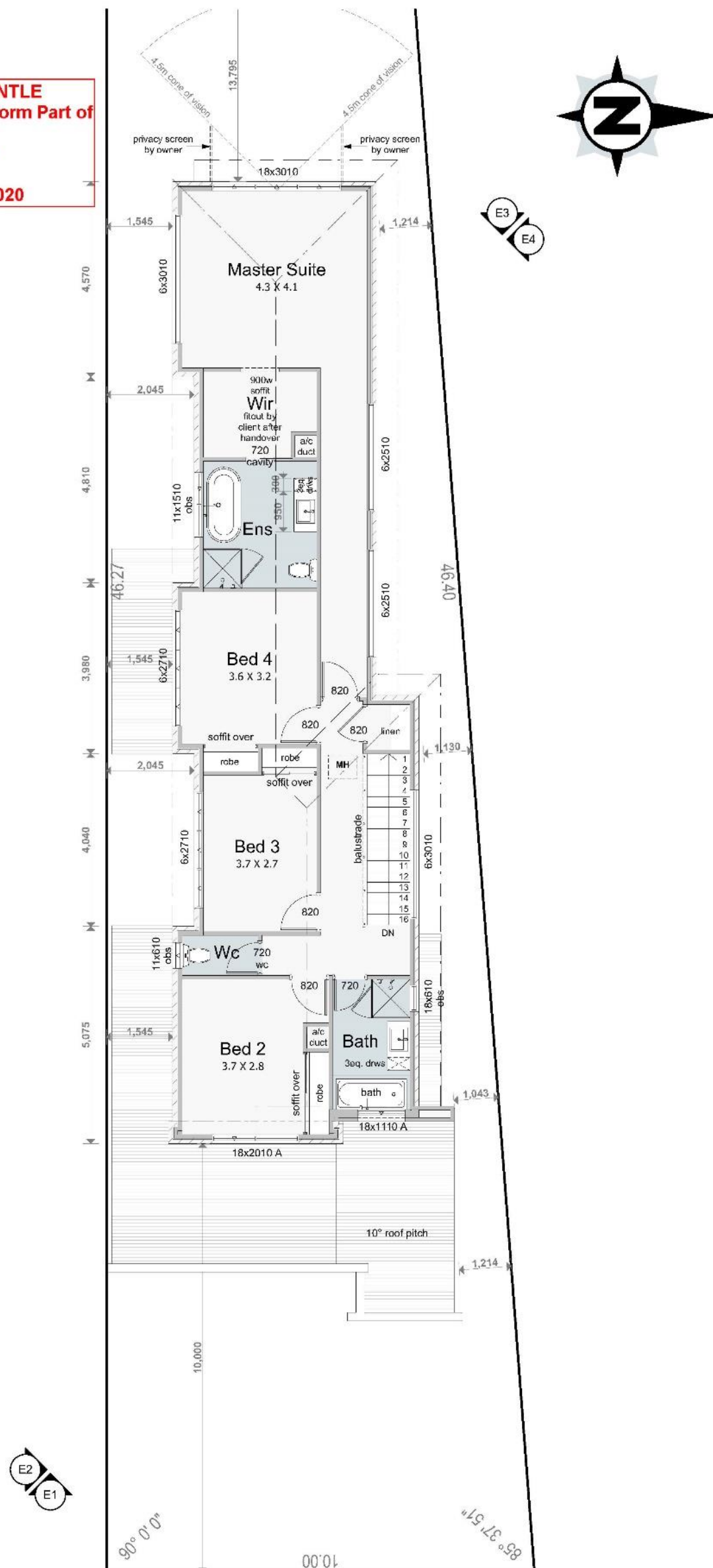
CLIENT:

BUILDER:

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CITY OF FREMANTLE
These Revised Plans Form Part of
DA0207/20
4 September 2020

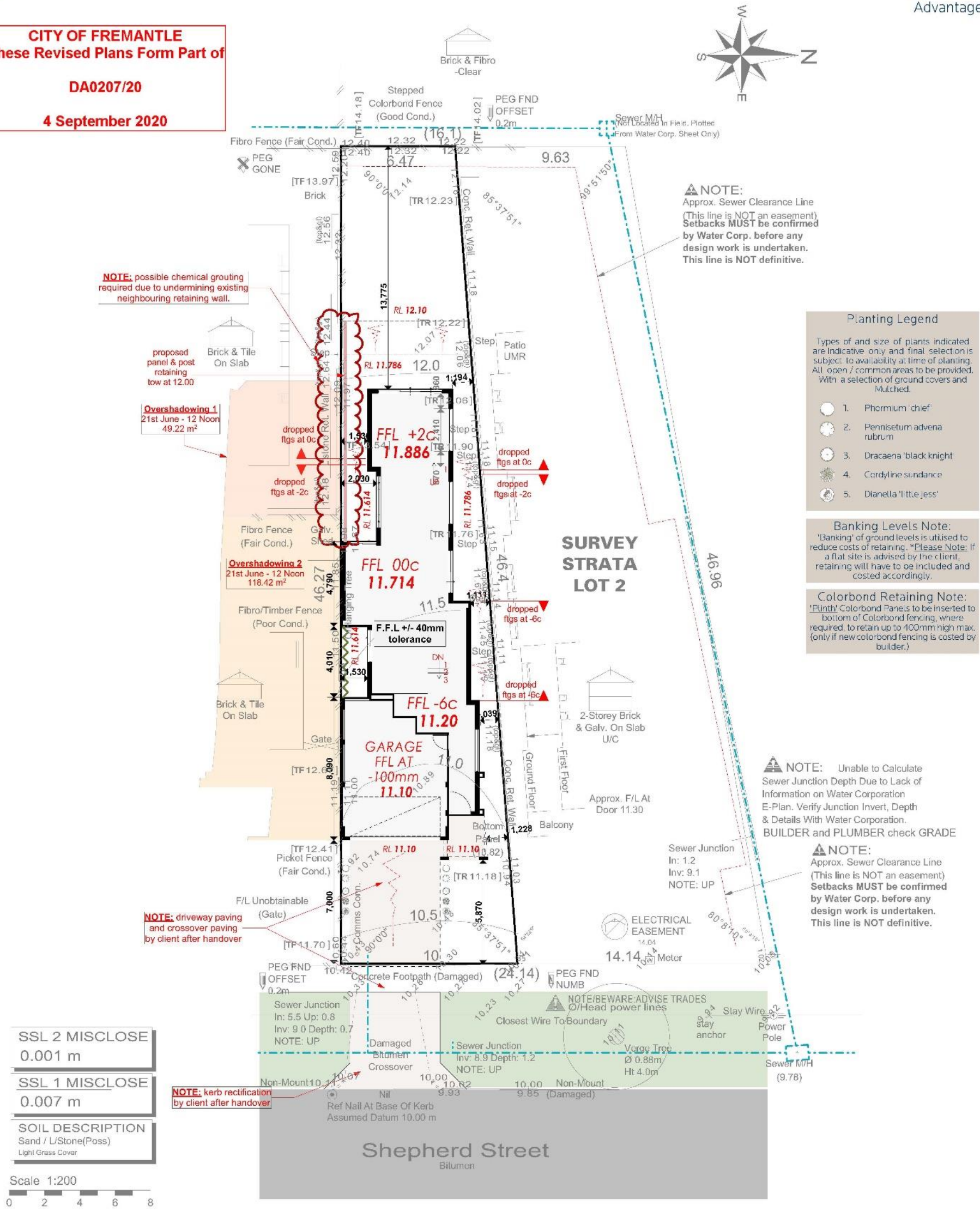


1. Phormium 'chief'
2. Pennisetum advena rubrum
3. Dracaena 'black knight'
4. Cordyline sundance
5. Dianella 'little jess'

Site Plan
1:200

Special
Advantage

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0207/20
4 September 2020



Page 3 of 5

CLIENT: Mrs. Janke Lucas & Mr. Mitchell Lucas
ADDRESS: Lot 1 (#67B) Shepherd Street BEACONSFIELD
JOB NUMBER: 56554
CONSULTANT: Natalie Scott

CONCEPT #:
PCA2 11/08/2020 DC
2TP 29/05/2020 MH
1 11/05/2020 DC

CLIENT: _____
CLIENT: _____
BUILDER: _____

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Elevations

Roofing Note
30°07' Roof Pitch
Metal Roof

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0207/20
4 September 2020

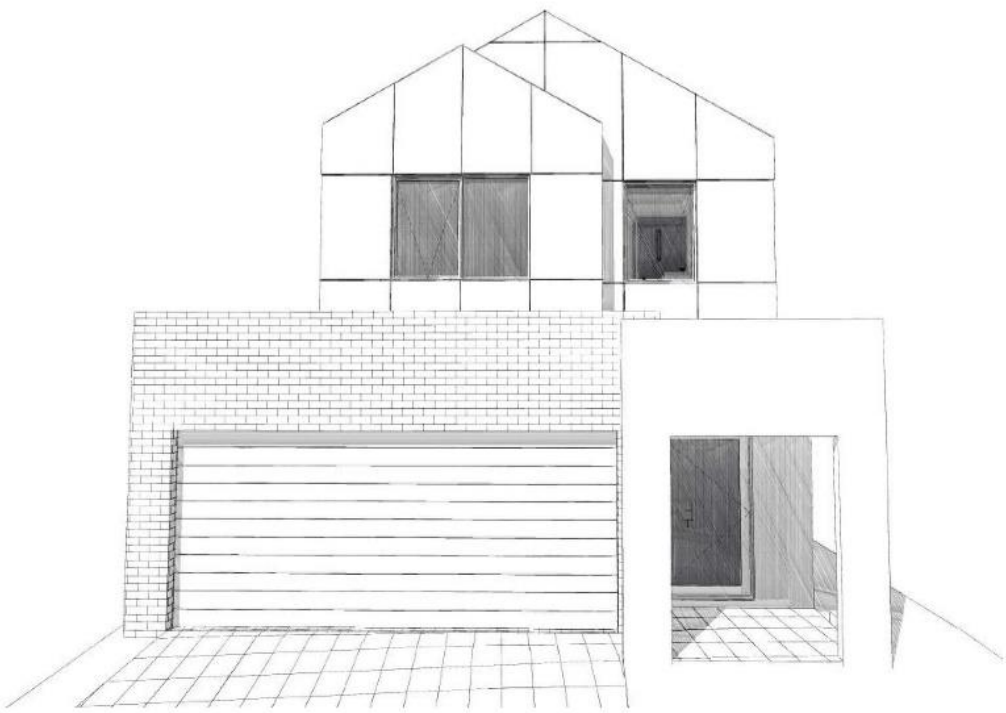
Special
Advantage



E1 Front Elevation
1:100



E3 Rear Elevation
1:100



Page 4 of 5

CLIENT: Mrs. Janke Lucas & Mr. Mitchell Lucas

ADDRESS: Lot 1 (#67B) Shepherd Street BEACONSFIELD

JOB NUMBER: 56554

CONSULTANT: Natalie Scott

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CONCEPT #:

PCA2	11/08/2020	DC
2TP	29/05/2020	MH
1	11/05/2020	DC

CLIENT:

CLIENT:

BUILDER:

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Elevations

Roofing Note
30°07' Roof Pitch
Metal Roof

Special
Advantage



E2 Side Elevation
1:100

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0207/20
4 September 2020



E4 Side Elevation
1:100

CLIENT: Mrs. Janke Lucas & Mr. Mitchell Lucas

ADDRESS: Lot 1 (#67B) Shepherd Street BEACONSFIELD

JOB NUMBER: 56554

CONSULTANT: Natalie Scott

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CONCEPT #:

PCA2 11/08/2020 DC
2TP 29/05/2020 MH
1 11/05/2020 DC

CLIENT:

CLIENT:

BUILDER:

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**PC2011 - 8 DOURO ROAD, NO. 2/19 (STRATA LOT 2), SOUTH FREMANTLE -
VARIATION TO OPERATING HOURS OF DA0099/19 (CHANGE OF
USE TO RESTAURANT) – (JK VA0027/20)**

Agenda attachment 1 – Development Plans



Annexure - Change of Trading Hours

Premises: 2/19 Douro Road, South Fremantle WA 6162 (Premises)

Lot and Plan: Lot 2, STP In 70380

Our company, Sanco Japanese Cuisine Pty Ltd are seeking to open a Japanese Café/Restaurant at the above Premises. We have lived in Perth since 2013 and currently operate a mobile/take away Vegan Japanese business. My husband Ken is a head chef at Japanese restaurant "James Parker sushi & sake" in Northbridge, and has been in this role for over 4 years. <http://www.james-parker.com.au/>

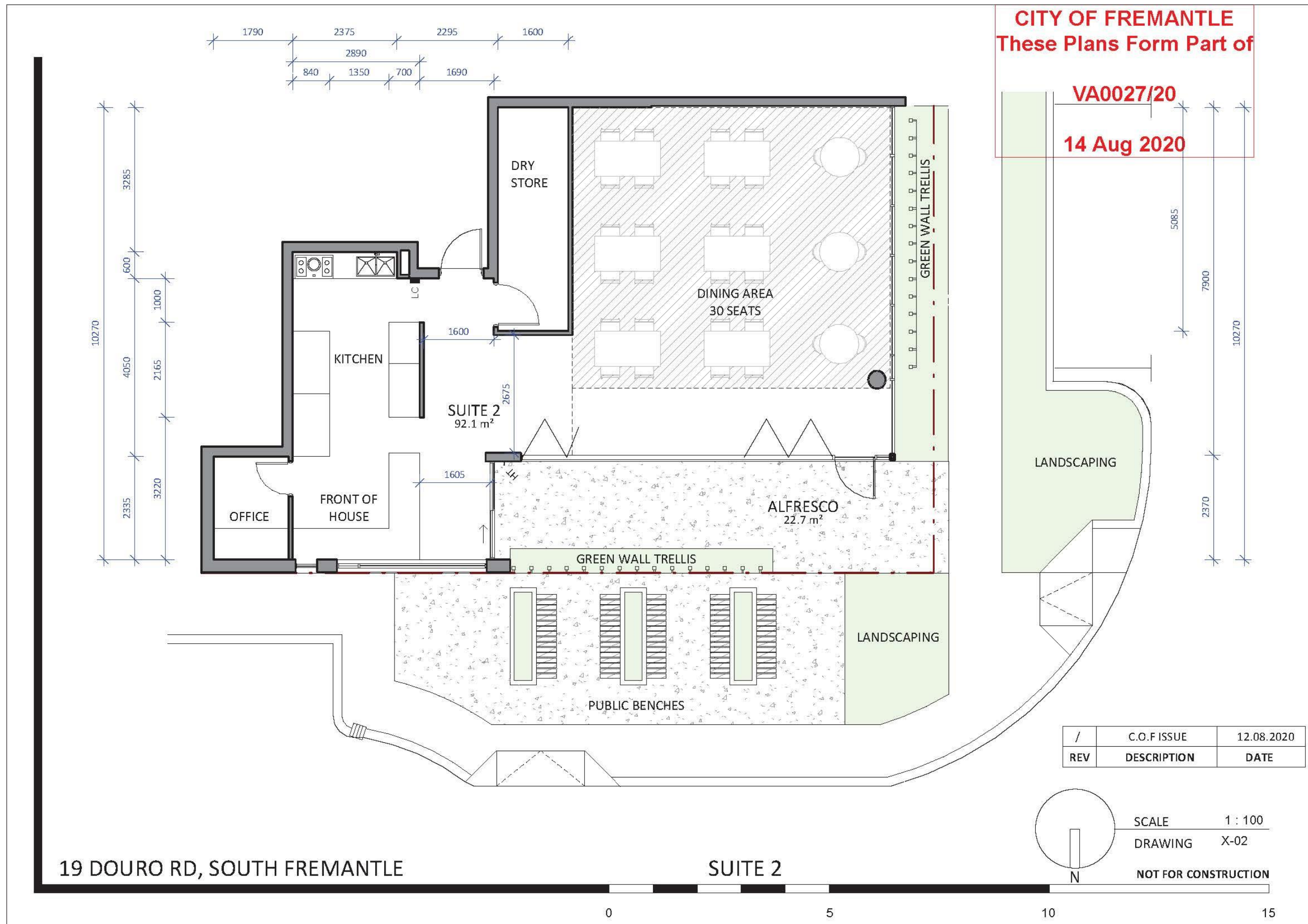
We understand that the Premises currently allows for a café/restaurant use, with opening hours that do not exceed 7am to 4 pm daily with a 30 x seating capacity.

We would like to open a Café/Restaurant with the proposed opening hours of 7am to 9 pm daily: and are not looking to increase the seating capacity - please see the attached plan for our proposed fit out.

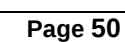
We have specifically chosen this location and Premises because it is peaceful and quiet, which fits our business model: to provide good quality Japanese food in a calming, relaxing area for the local residents.

We do not anticipate any increase in cars or noise - as our business is focused on servicing the local residents: where we would expect walking or cycling to be the main mode of transport. The concept of our restaurant is one of relaxation and slowing down and not a noisy/ fast and busy trafficked atmosphere.

Please contact me if you require any further information.



Agenda attachment 1 – Amended Plans



9/16/2020

10 Ferres St - Google Maps



<https://www.google.com/maps/place/10+Ferres+St,+White+Gum+Valley+WA+6162/@-32.0622534,115.7694976,122m/data=!3m1!1e3!4m5!3m4!1s0x2a32a22d7fd1c5eb:0xef567f20b355bfe3!8m2!3d-32.0622343!4d...> 1/1

PC2011 - 11 INFORMATION REPORT – NOVEMBER 2020

Agenda attachment 1 – Schedule of applications determined under delegated authority

- 1. Oldham Crescent, No. 9 (SI 1), Hilton – Single Storey Single House – (Nb Da0255/20)**
- 2. High Street Mall, No. 135 (Lots 381-385) Fremantle – Internal Fitout To Restaurant (Gt7) – (Nb Da0348/20)**
- 3. Hope Street, No. 119 (Lot 200), White Gum Valley - Signage - (Jcl Da0385/20)**
- 4. Hope Street, No. 71 (Lot 31), White Gum Valley - Patio Addition To Existing Single House - (Jcl Da 0333/20)**
- 5. Attfield Street, No. 72 (Lot 6), Fremantle - Shade Sail Addition To Existing Single House - (Jcl Da0350/20)**
- 6. Carnac Street, No. 30 (Lot 2), Fremantle – Pergola Addition To Existing Grouped Dwelling - (Jcl Da0388/20)**
- 7. Winterfold Road, No. 26 (Lot 200), Hilton – Rear Additions And Alterations To An Existing Single House – (Nb Da0407/20)**
- 8. Alma Street, No. 25 (Lot 1629) Fremantle – Subdivision Clearance (Wapc1031-19)**
- 9. Arundel Street, No. 29-31 (Lot 3) Fremantle - Subdivision (Tg Wapc1373-20)**
- 10. Essex Street, No. 20 (Strata Lot 1), Fremantle - External Painting Of Building (Tg Da0399/20)**
- 11. Orient Hotel - High Street, No. 39 (Lot 62), Fremantle - Repairs To Balustrades And Corbelling Of Existing Tavern - (Jcl Da0306/20)**
- 12. Chadwick Street, No. 50 (Lot 1596), Hilton – Outbuilding Addition- (Jl Da0355/20)**
- 13. Pilbarra Street, No. 8 (Lot 29) Wgv - Carport Addition To Existing Single House - (Nb Da0319/20)**
- 14. Holland Street, No. 38 (Lot 8), Fremantle - Alterations And Loft Addition To Existing Single House - (Jcl Da0328/20)**
- 15. Holdsworth Street, No.29 (Lot 66), Fremantle – Solar Panel Additions To Existing Grouped Dwelling – (Cs Da0320/20)**
- 16. Harvest Road, 1/33 (Lot 1), North Fremantle – Solar Panel Additions To Existing Grouped Dwelling – (Cs Da0414/20)**
- 17. Elder Place, 6/20 (Lot 6), Fremantle – Signage – (Cs Da0368/20)**

- 18. Ethelwyn Street, No.34 (Lot 71), Hilton – Outbuilding Addition To An Existing Single House - (Jl Da0374/20)**
- 19. Prowse Street, No.3 (Lot 70), Beaconsfield – Ancillary Dwelling, Patio And Deck Addition To Existing Single House (Jl Da0337/20)**
- 20. South Street, No.376 (Lot 17), South Fremantle - Ancillary Dwelling Addition To Existing Single House (Jl Da0321/20)**
- 21. Chadwick Street, No.7a (Strata Lot 2), Hilton - Single Storey Grouped Dwelling - (Jl Da0351/20)**
- 22. No. 163 (Lot 3) Marmion Street, Fremantle - Four Lot Survey-Strata Subdivision With Common Property Access Leg - (Jcl Wapc1205-20)**
- 23. Johannah Street, 4/4 (Strata Lot 4) North Fremantle - Two Storey Grouped Dwelling (Tg Da0379/20)**
- 24. Paget Street, No. 7b (Lot 2), Hilton - Single Storey Grouped Dwelling - (Jcl Da0353/20)**
- 25. Stirling Highway, No. 2/107 (Lot 2), North Fremantle - Change Of Use To Private Recreation - (Jcl Da0345/20)**
- 26. South Terrace, No. 406 (Lot 64) South Fremantle - Partial Change Of Use To Small Bar (Jl Da0265/20)**
- 27. South Street, No.308 (Lot 16), Hilton – Pylon Sign Addition – (Cs Da0286/20)**
- 28. South Street, No.392 (McDonalds), O’connor – Alterations And Additions To Existing Restaurant – (Cs Da0341/20)**
- 29. Oldham Crescent, No. 30 (Lot 1313) Hilton - Additions And Alterations To Single House (Tg Da0387/20)**
- 30. Oldham Crescent, No.30 (Lot 1313), Hilton – Conversion Of Existing Outbuilding To Ancillary Dwelling (Jl Da0357/20)**
- 31. Wray Avenue, No.1 (Lot 8), Fremantle – Change Of Use From Lunch Bar To Restaurant- (Jl Da0380/20)**
- 32. Elizabeth Street, No.4 (Lot 38), White Gum Valley – Additions And Alterations To Existing Single House - (Jl Da0421/20)**
- 33. Nicholas Crescent, No. 56 (Lot 1), Hilton - Additions And Alterations To Existing Single House - (Jcl Da0214/20)**

34. Marmion Street, No.25b (Ssl 3) Fremantle - Variation To–Previous Planning Approval Da0093/20 (Two Storey Grouped Dwelling) – (Jl Va0029/20)
35. Passmore Avenue, No. 6 (Strata Lot 4) North Fremantle - Additions And Alterations To Existing Grouped Dwelling (Tg Da0384/20)
36. No. 1 Covich Avenue (Lot 18), Beaconsfield - Two, Two Storey Grouped Dwellings (Tg Da0237/20)
37. South Street, No.369a (Strata Lot 2), Hilton – Second Storey Addition And Alterations To Grouped Dwelling – (Jl Da0303/20)
38. Ellen Street, No. 36 (Lot 1826), Fremantle - Shade Structure Addition - (Jcl Da0428/20)
39. Newman Court, No. 2 (Lot 1) Fremantle - Pylon Sign To Existing Building (Tg Da0436/20)
40. Short Street, No. 1 (Lot 2083) Fremantle - Solar Panels To Existing Building (Nb Da0376/20)
41. Griffiths Place, No. 2 (Lot 1212), Hilton - Additions And Alterations To Existing Single House - (Jcl Da0292/20)
42. Arundel Street, No. 7 (Sl 2) Fremantle – Variation To Da0455/19 (Additions And Alterations To Existing Grouped Dwelling) – (Nb Va0039/20)
43. Yalgoo Avenue, No. 8 (Lot 20), White Gum Valley – Two Storey Additions And Alterations To An Existing Single House – (Nb Da0247/20)
44. Nicholas Crescent, No. 16a (Lot 42) Hilton - Single Storey Single House And Ancillary Dwelling - (Nb Da 0299/20)
45. Howard Street, No.20 (Lot 3), Fremantle – Two Storey Additions And Alterations To An Existing Single House - (Jl Da0342/20)
46. Henderson Street, No 45 (Lot 300) Fremantle - Alterations And Additions To Existing Courthouse And Change Use To Restaurant And Tavern – (Nb Da0217/20)
47. South Street, No. 41 (Lot 5), South Fremantle - Single Storey Single House And Ancillary Dwelling - (Jcl Da 0361/20)
48. Commercial Street, No. 16 (Lot 32), South Fremantle - Retaining And Fill To Existing Single House- (Jcl Da0322/20)
49. Chadwick Street No.55 (Lot 8), Hilton – Carport Addition To Existing Single House (Jl Da0371/20)

- 50. High Street, No. 135 (Lot 383), Fremantle – Internal Fitout (T27 And T29) – (Nb Da0424/20)**
- 51. Marine Terrace, No. 22 (Lot 159844) Fremantle – Subdivision – Boundary Realignment – (Nb Wapc159844)**
- 52. Shepherd Street, No. 19 (Lot 46), Beaconsfield - Alterations And Additions To Existing Single House And Conversion Of Outbuilding To Detached Addition - (Jcl Da0377/20)**
- 53. Clarke Street, No. 13 (Lot 31) Hilton - Single Storey Additions And Alterations (Tg Da0443/20)**
- 54. Watkins Street, No.112b (Strata Lot 2), White Gum Valley – Change Of Use To Home Business (Health Consultant) (Jl Da0369/20)**