



Meeting attachments

Planning Committee

Wednesday 5 April 2023 6pm



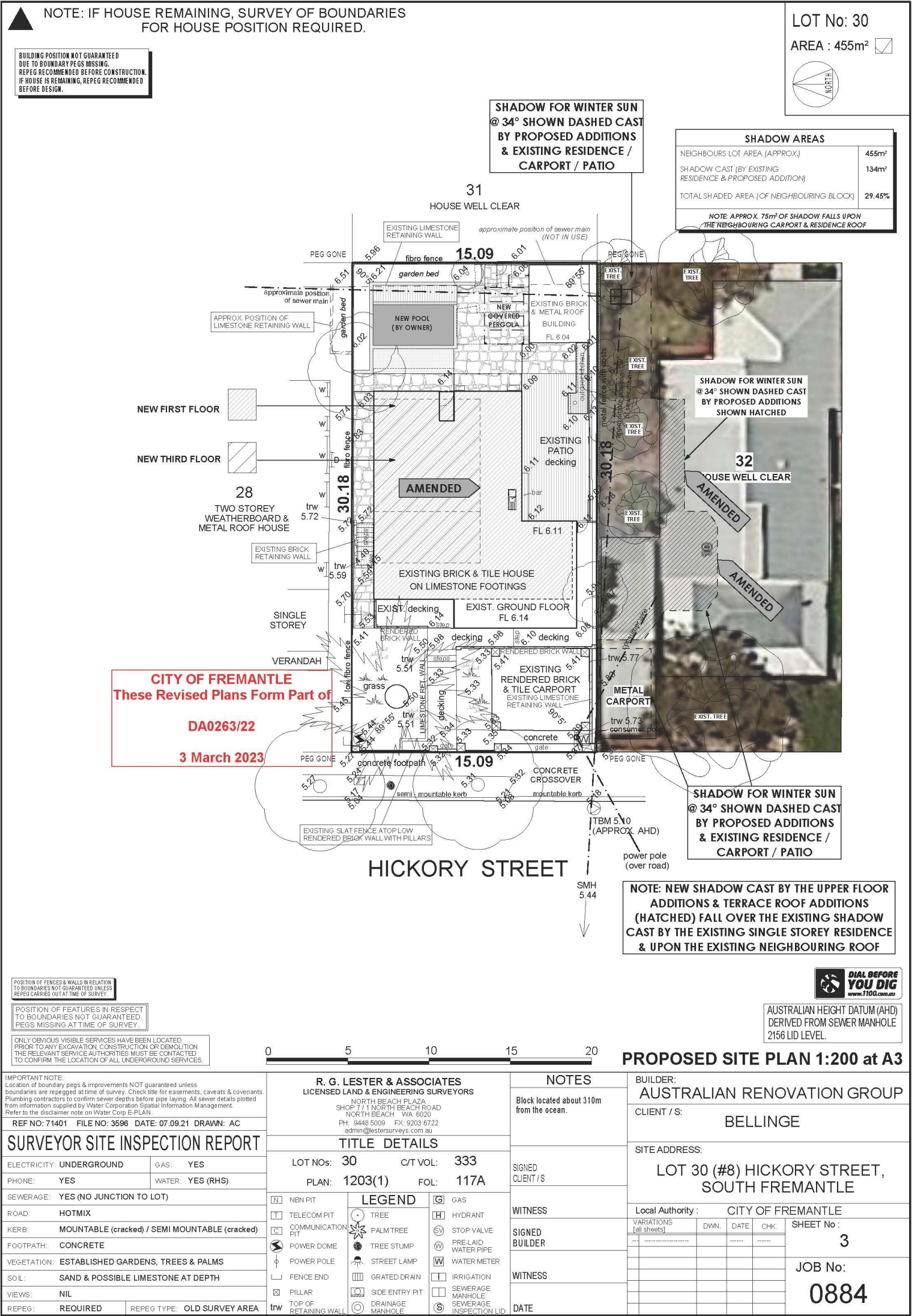
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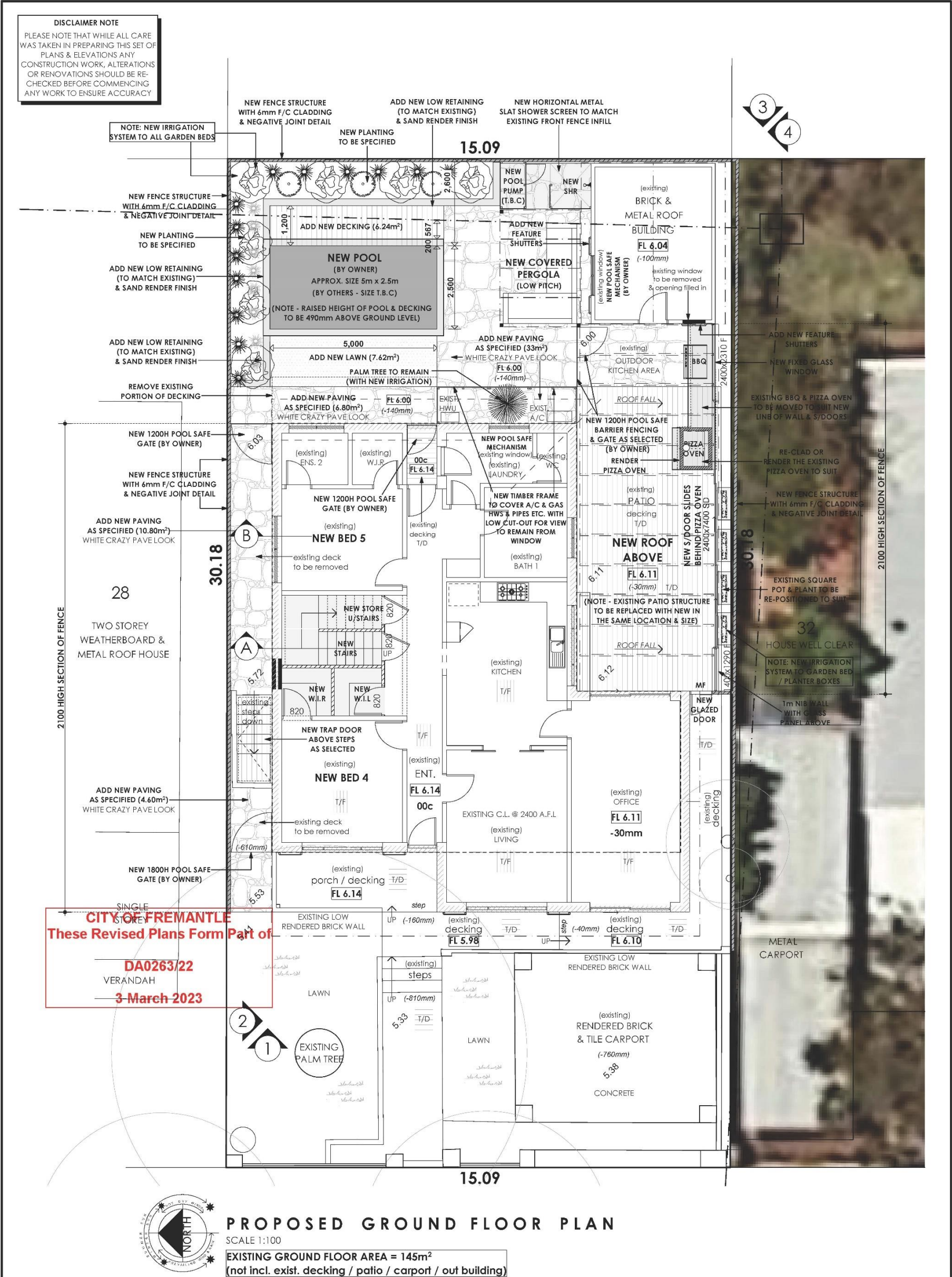
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PC2304-1 HICKORY STREET, NO. 8 (LOT 30), SOUTH FREMANTLE - TWO STOREY ADDITIONS AND ALTERATIONS INCLUDING A ROOF TOP TERRACE ADDITION TO EXISTING SINGLE HOUSE (ED DA0263/22)

ATTACHMENT 1 – Amended Development Plans





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Australian Renovation Group
1st Floor / 82 Guthrie Street, Osborne Park
PO Box 1528, Osborne Park DC WA 6916
T : (08) 9244 4462
E : info@arg.com.au

PROPOSED BELLINGE ADDITION
AT : LOT 30, #8 HICKORY STREET, SOUTH FREMANTLE

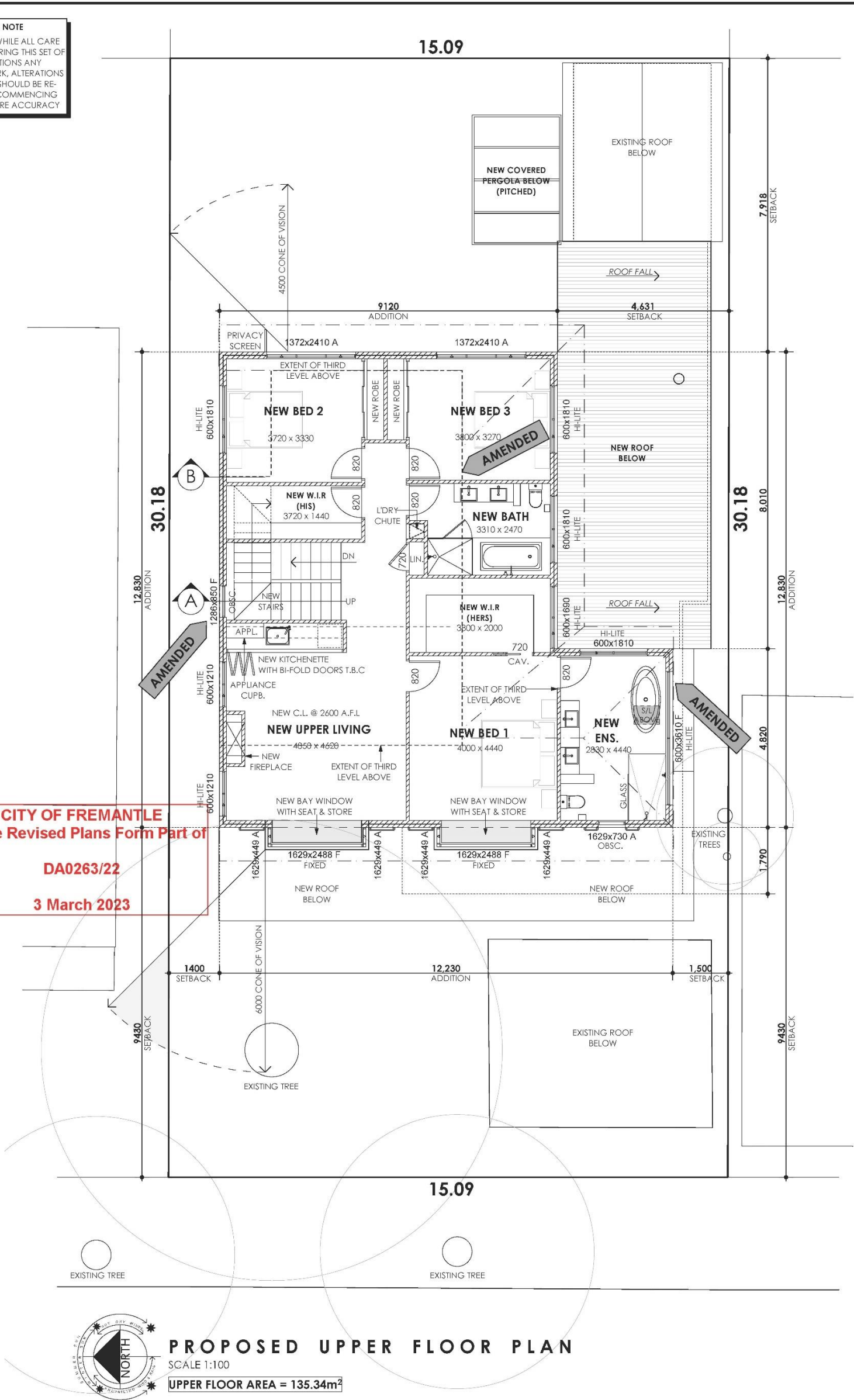
AMENDED PLANNING

CITY OF FREMANTLE	DRAWN: ARG
ISSUE DATE: 1/03/2023	JOB No: 141-21
SCALE: AS SHOWN	SHEET: 4



DISCLAIMER NOTE
PLEASE NOTE THAT WHILE ALL CARE WAS TAKEN IN PREPARING THIS SET OF PLANS & ELEVATIONS ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0263/22
3 March 2023



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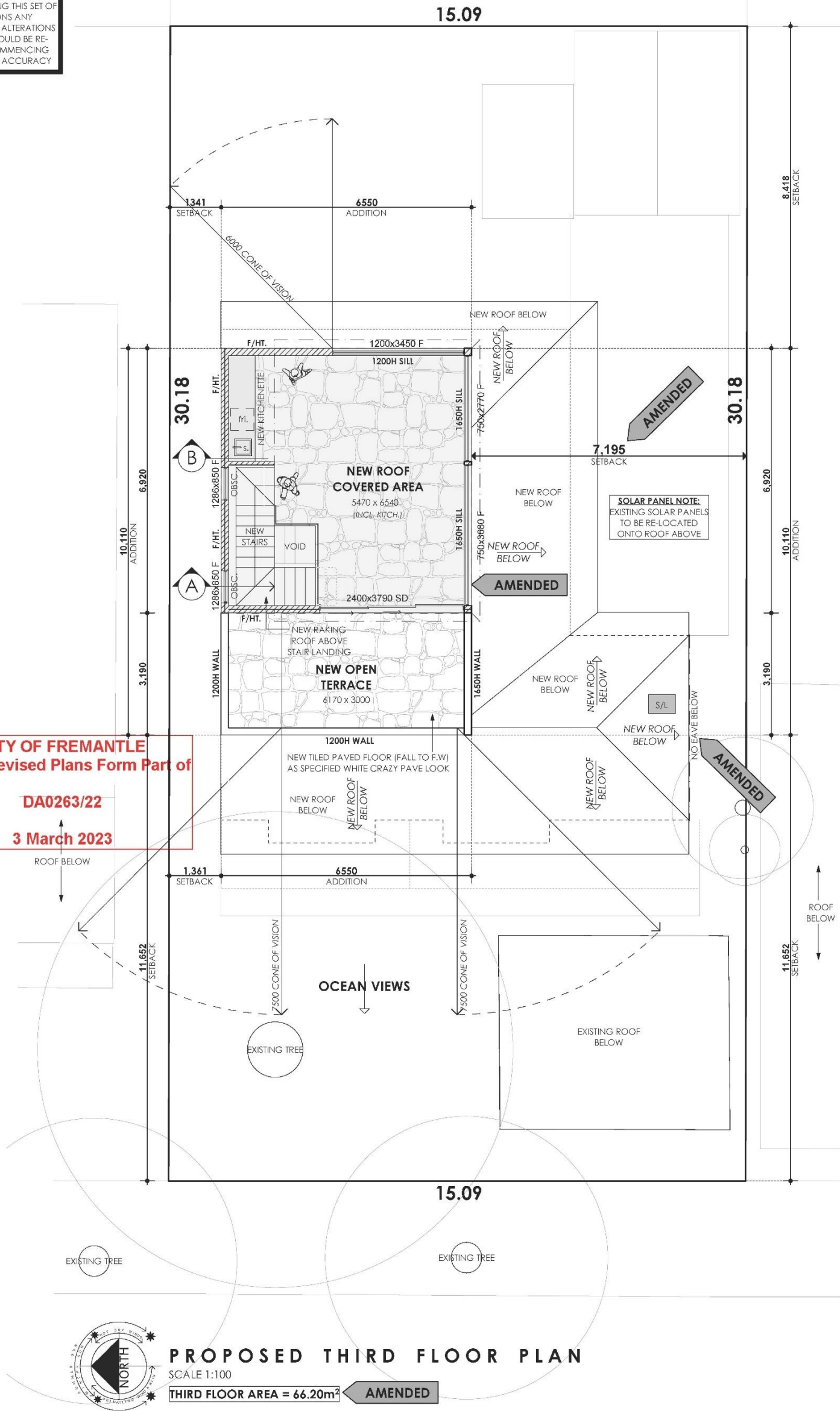
AMENDED PLANNING

CITY OF FREMANTLE	DRAWN: ARG
ISSUE DATE: 1/03/2023	JOB No: 141-21
SCALE: AS SHOWN	SHEET: 5



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PROPOSED THIRD FLOOR PLAN
SCALE 1:100
THIRD FLOOR AREA = 66.20m² **AMENDED**

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AMENDED PLANNING

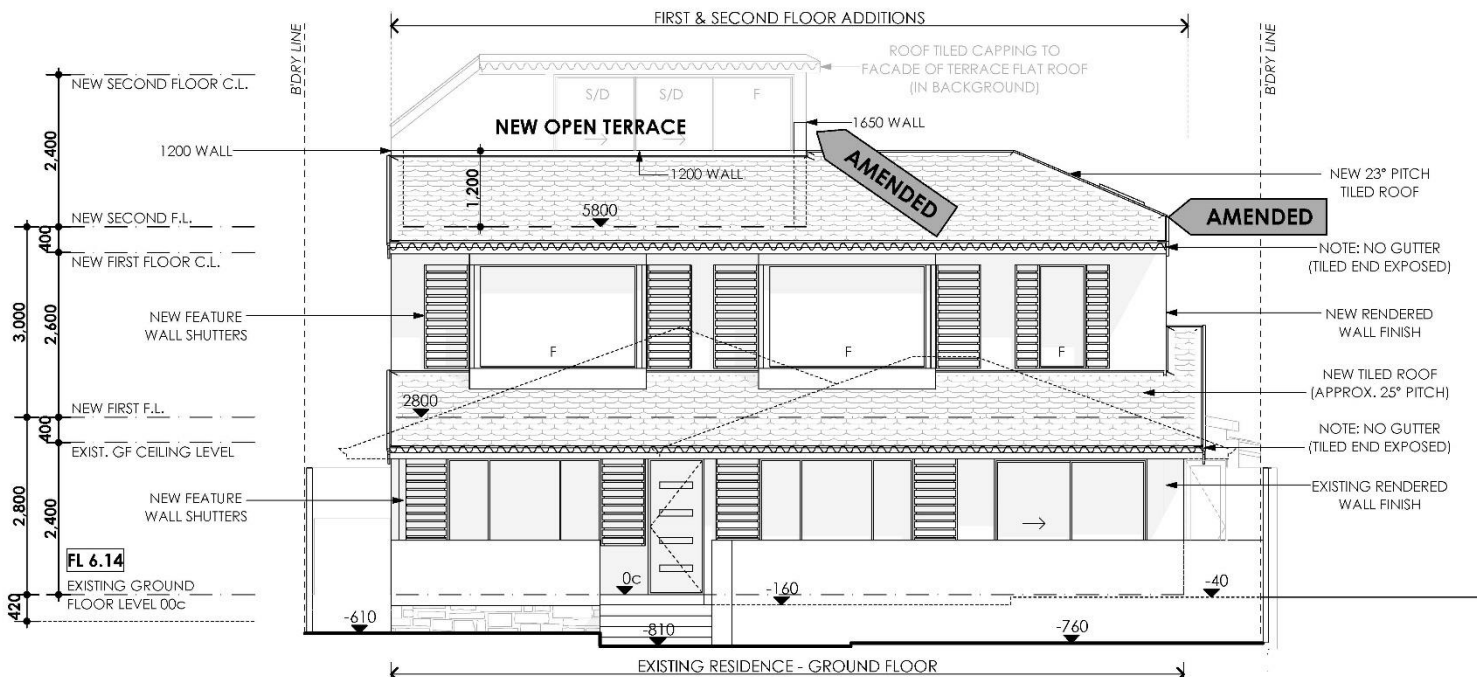
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ISSUE DATE: 1/03/2023	JOB No: 141-21
SCALE: AS SHOWN	SHEET: 6



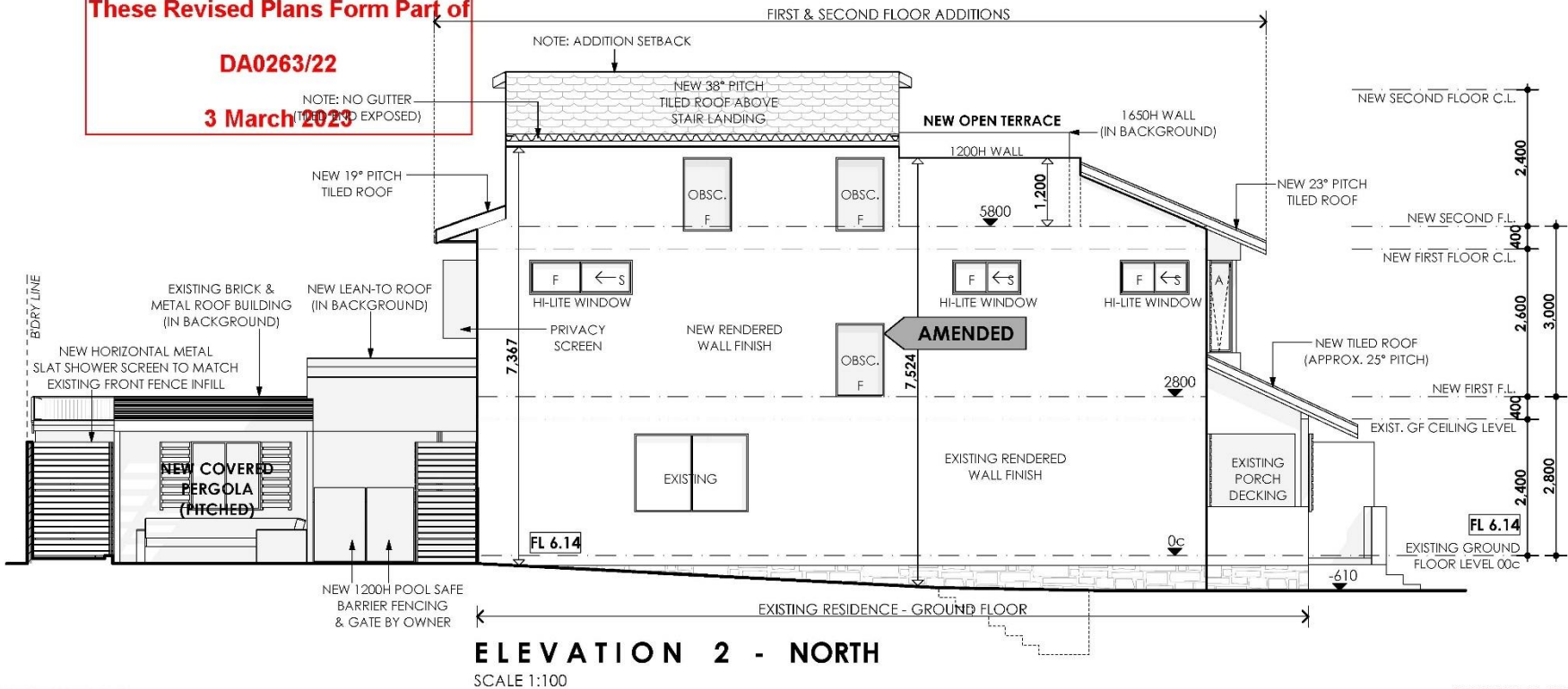
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STREETSCAPE ELEVATION 1 - WEST
SCALE 1:100



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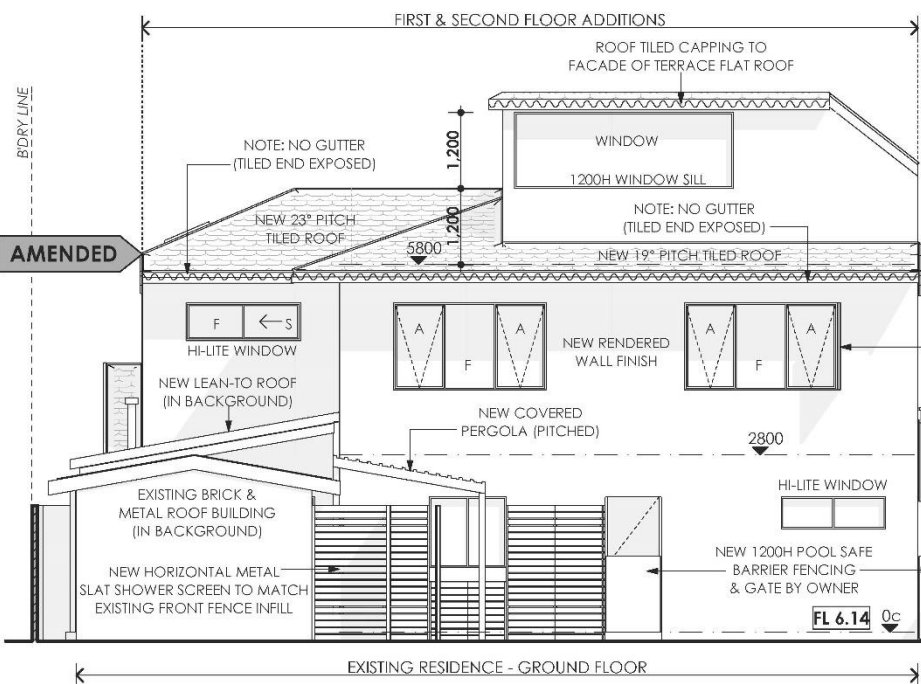
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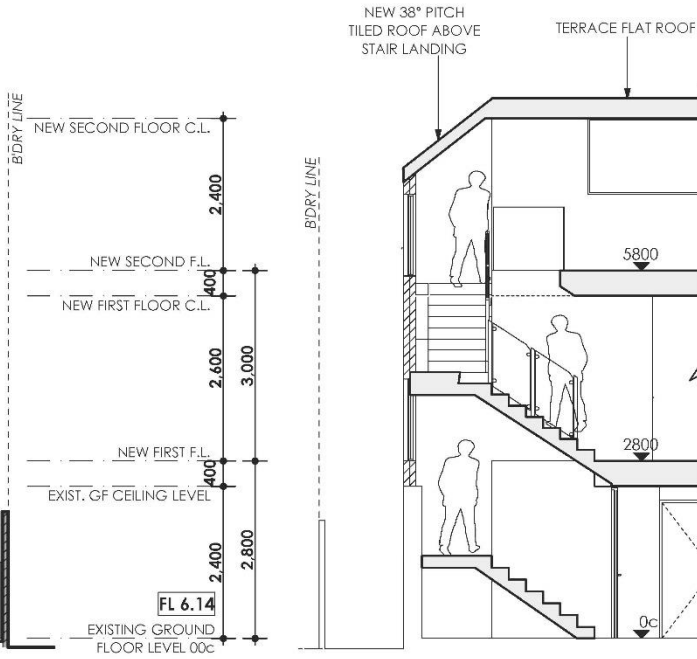
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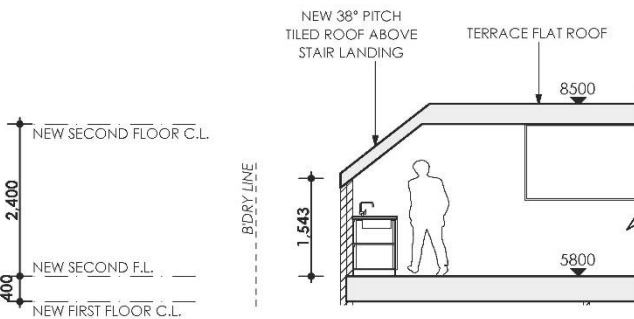
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ELEVATION 3 - EAST
SCALE 1:100

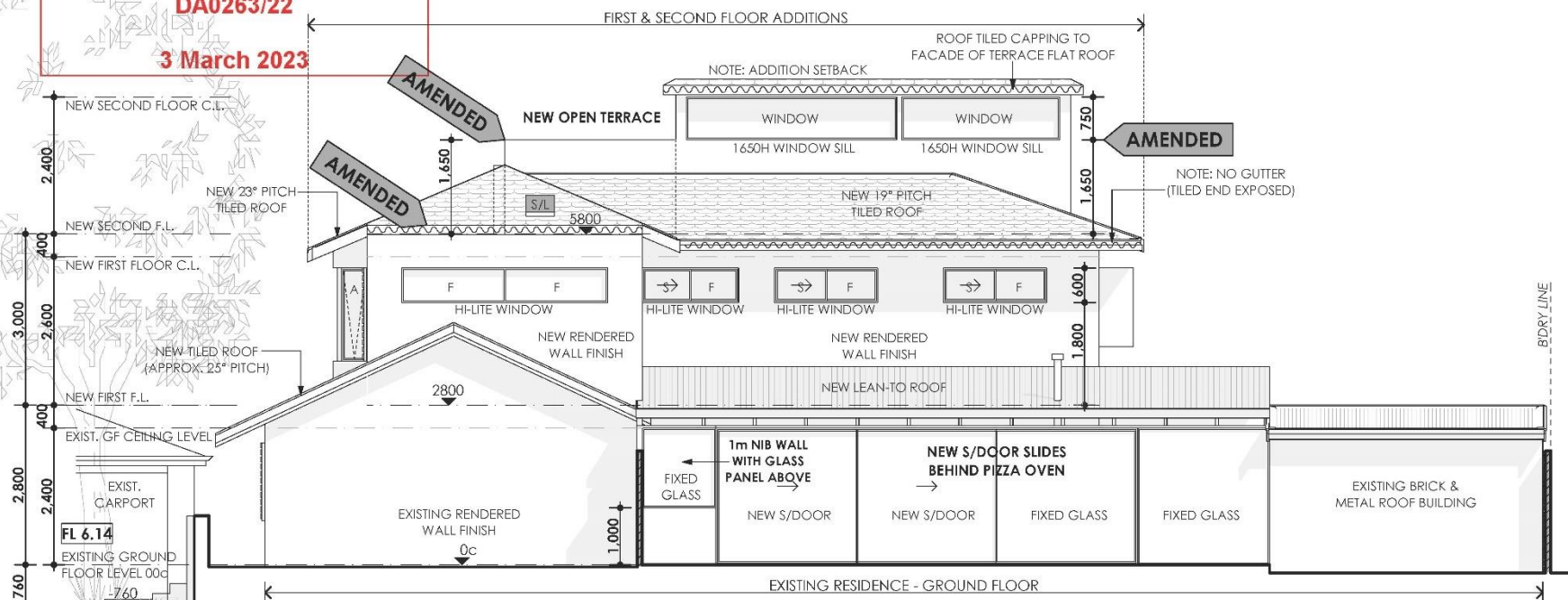


SECTION A
SCALE 1:100



SECTION B
SCALE 1:100

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ELEVATION 4 - SOUTH
SCALE 1:100

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CITY OF FREMANTLE	DRAWN: ARG
ISSUE DATE: 1/03/2023	JOB No: 141-21
SCALE: AS SHOWN	SHEET: 8



PC2304-2 JOHN STREET, NO. 16A (STRATA LOT 3), NORTH FREMANTLE – TWO STOREY GROUPED DWELLING (CM DA0371/22)
ATTACHMENT 1 – Development Plans



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DA0371/22

28 Oct 2022

MS L ALCOCK & MR A TERRY
#16A JOHN STREET, NORTH FREMANTLE



CLIENT NOTES
-SKETCHES MAY INCLUDE ITEMS NOT INCLUDED IN BUILDERS STANDARD RANGE, PLEASE CHECK YOUR ADDENDA.
-ROOM DIMENSIONS ARE APPROXIMATE.
-DETAILS SUBJECT TO STRUCTURAL REQUIREMENTS, PROVISION OF FULL SITE SURVEY AND LOCAL COUNCIL APPROVAL.
-DESIGN SKETCHES MAY REQUIRE MODIFICATIONS TO COMPLY WITH THE ENERGY EFFICIENCY REQUIREMENTS OF THE BCA.
-HOUSE DESIGN, SPECIFICATIONS, COLOURS AND MATERIAL MODIFICATIONS MAY BE REQUIRED TO COMPLY WITH THE ENERGY PROVISIONS OF THE NATIONAL CONSTRUCTION CODE. PLACEMENT ON THE LOT, ORIENTATION AND THE SPECIFIC CLIMATE ZONE WILL AFFECT THESE MODIFICATIONS.



PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
IS R-CODE VARIATION REQD - YES

NON COMPLIANCE ITEMS:

-NOTE: DESIGN HAS PRELIMINARY ASSESSMENT FROM HERITAGE DEPARTMENT OF THE CITY OF FREMANTLE FOR COMPLIANCE OF LOCAL PLANNING POLICY 3.6.
-OVERALL HIEGHT IS NOT COMPLIANT WITH THE 5.5M MAXIMUM BUILDING HIEGHT REQUIREMENTS FOR LOCAL PLANNING AREA 3-NORTH FREMANTLE.
-SITTING ROOM WITH MAJOR OPENING TO BE SETBACK 1.5 IN LIEU OF 3.2
-OVERLOOKING FROM UPPER FLOOR SITTING TO NORTH-EAST BOUNDARY

CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements, we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design maybe required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

The client acknowledges the items listed under the non-compliance notes above.

Client

Client

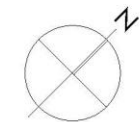
SURVEY STRATA SITE

SITE REQUIREMENTS

ZONING - R35

SITE COVER % ALLOWED - 45%
SITE AREA - 548sqm
PROPOSED SITE COVER - 199.27sqm
SITE COVER % PROPOSED - 36.36%

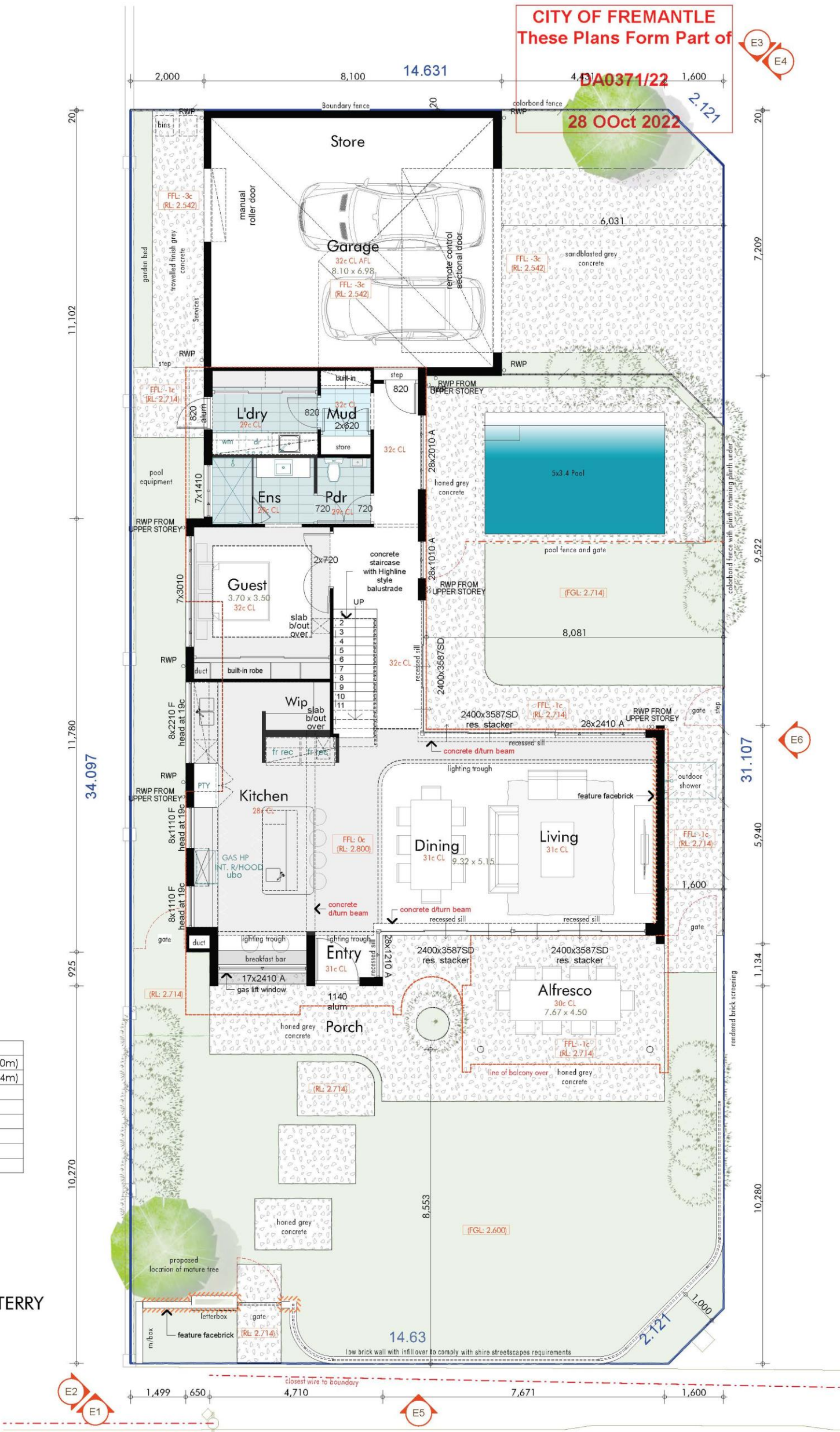
AREAS		
Ground Floor	141.02	(59.710m)
Upper floor	147.18	(64.864m)
Garage	44.22	
Porch	8.79	
Alfresco	34.52	
Store	12.71	
Balcony	20.29	
	408.73 m ²	



PROPOSED
MS L ALCOCK & MR A TERRY
RESIDENCE

#16A JOHN STREET
NORTH FREMANTLE
DATE: 18/10/22
DRAWN: JC
REP: Office
JOB No: 17815 V2 PLANNING
CUSTOM

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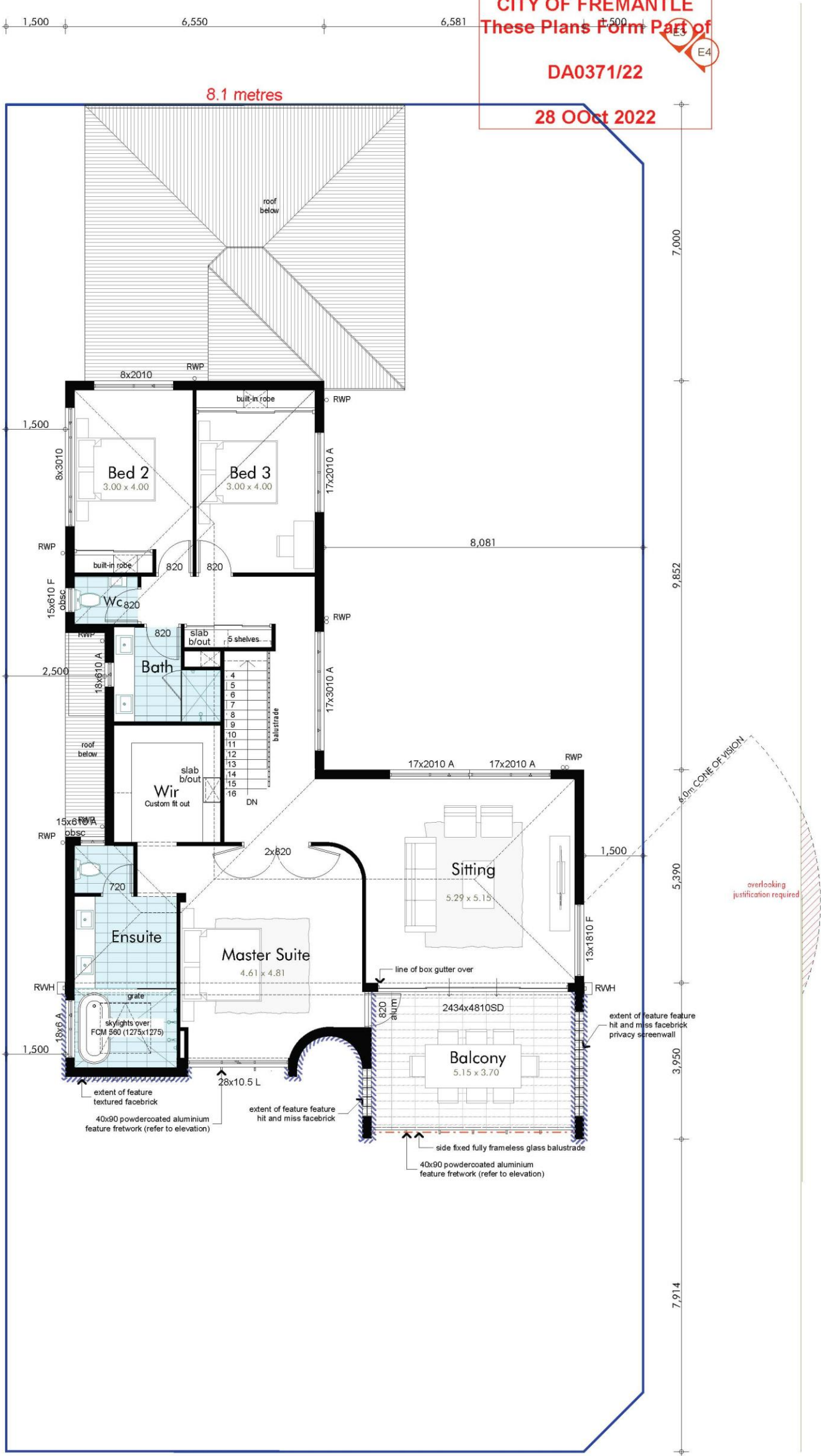
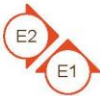


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UPPER FLOOR PLAN
SCALE: 1:100, 1:1

ELEVATIONS 1
SCALE: 1:100

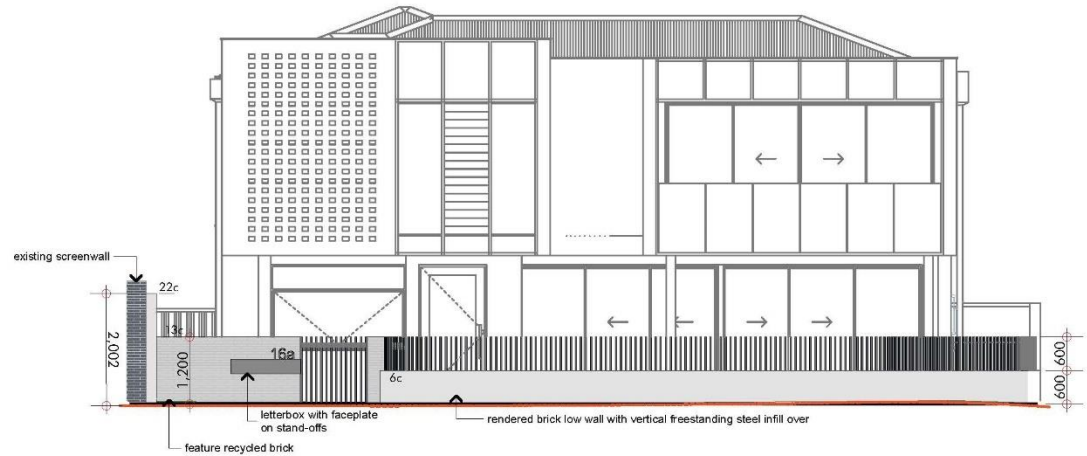


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WB





WB
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E5 FRONT SCREENWALL
1:100



SCREENWALL
SCALE: 1:100

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28 Oct 2022



OWNER
OWNER
BUILDER
DATE

PROPOSED
MS L ALCOCK & MR A TERRY
RESIDENCE

#16A JOHN STREET
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DATE: 18/10/22
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PERSPECTIVES
SCALE: 1:177.09



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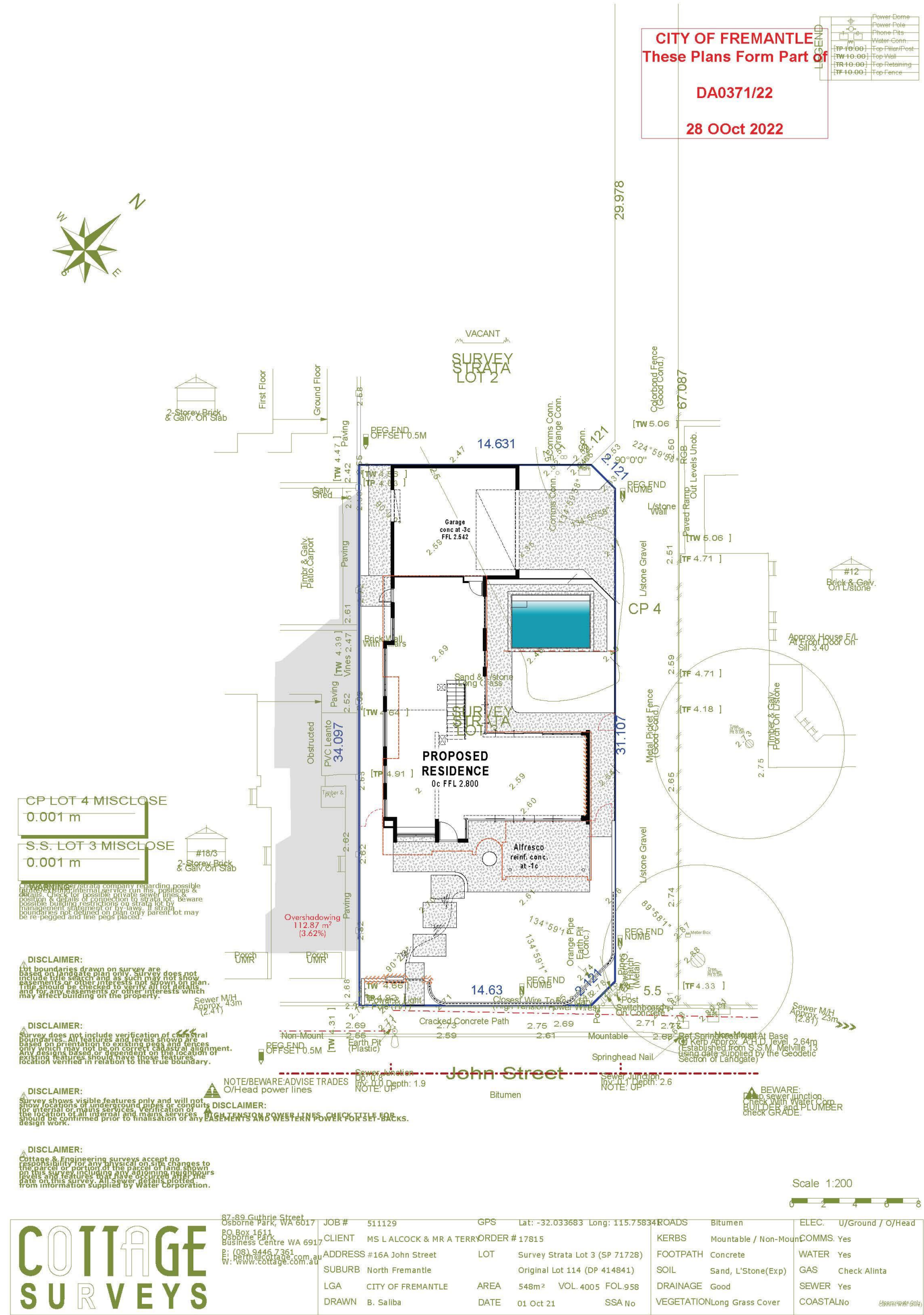


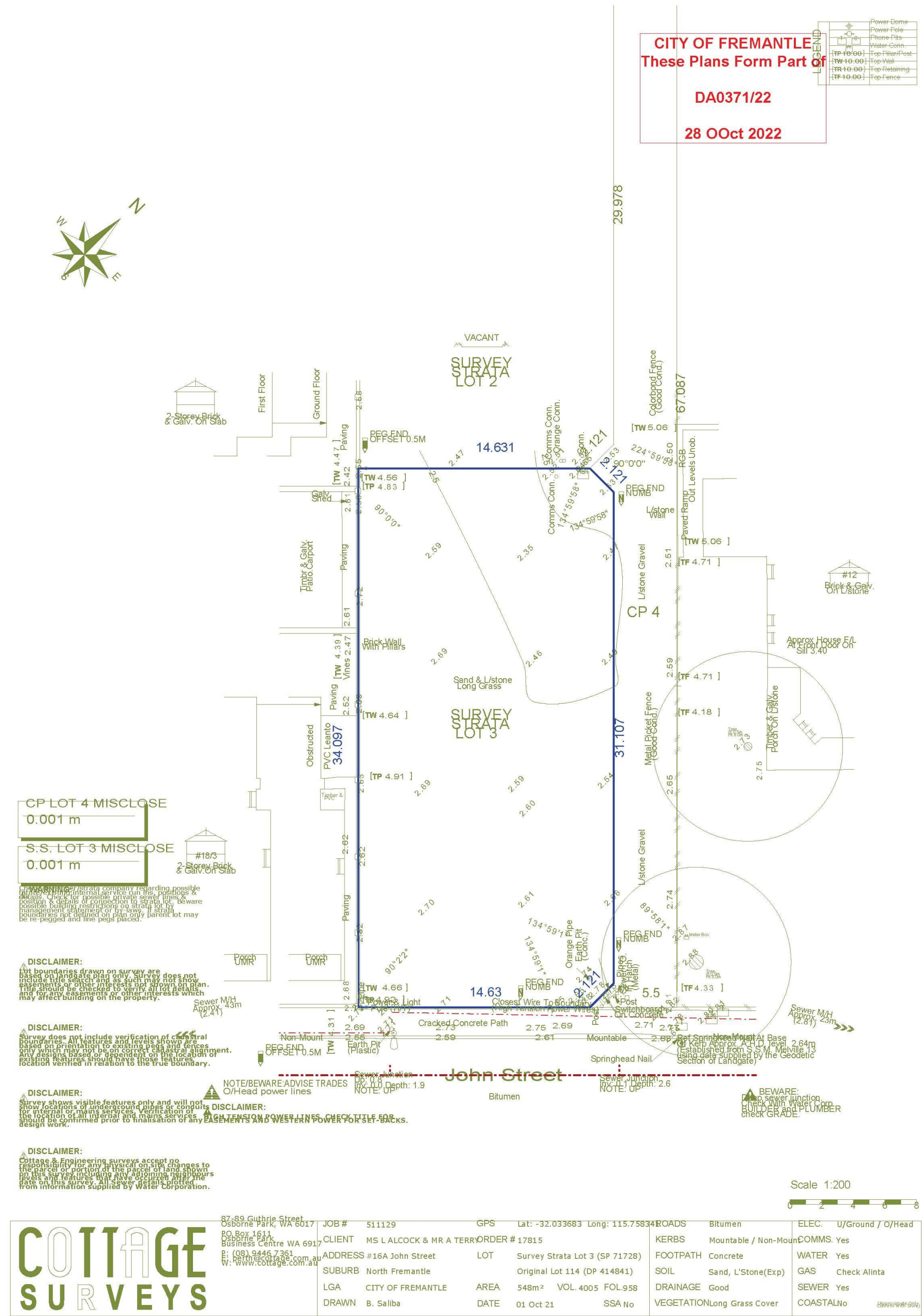
**PROPOSED
MS L ALCOCK & MR A TERRY
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#16A JOHN STREET
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DATE: 18/10/22
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PERSPECTIVES
SCALE: 1:187.55, 1:146.92

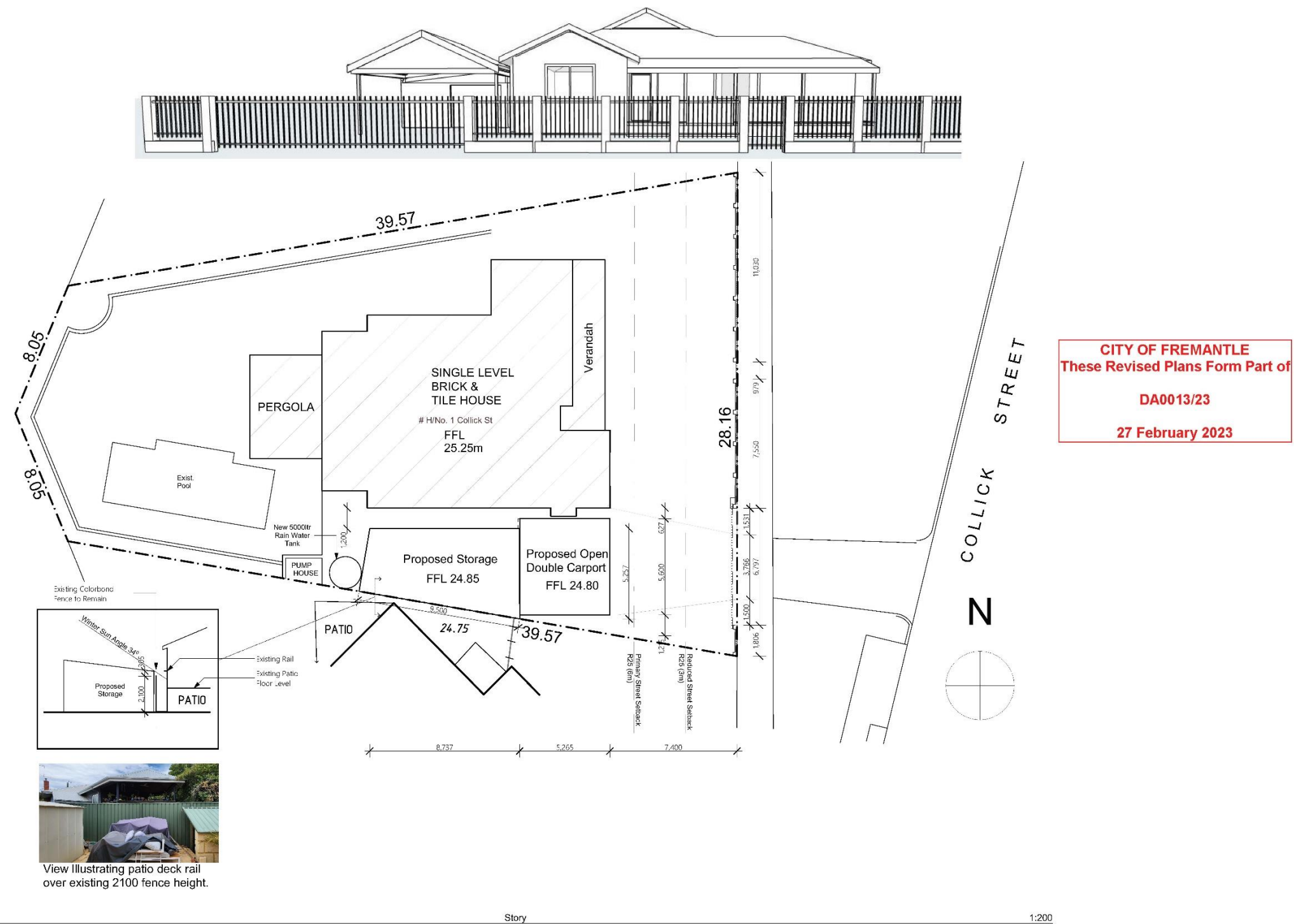






PC2304-3 COLLICK STREET, NO. 1 (LOT 1594), HILTON – CARPORT, OUTBUILDING AND FRONT FENCE ADDITIONS TO EXISTING SINGLE HOUSE (JZ DA0013/23)

ATTACHMENT 1 – Amended Plans



emef DESIGN	address : 8a Regina Crt Hamilton Hill Ph. : 0423 455 527 Email: motiveforcedesign@gmail.com.au	CLIENT/PROJECT: Lachlan and Mariana Enright Proposed New Carport, Shed and Front Fence at 1 Collick st Hilton	DRAWING TITLE Site Plan	PROJECT STATUS: Development Application	DESIGNER: A I DRAWN: ARIFIN IRIKS	SCALE: As shown @ A3 REVISION DATE: 27/02/2023	PROJECT NO: 0192 REVISION 0001	DWG NO: 01
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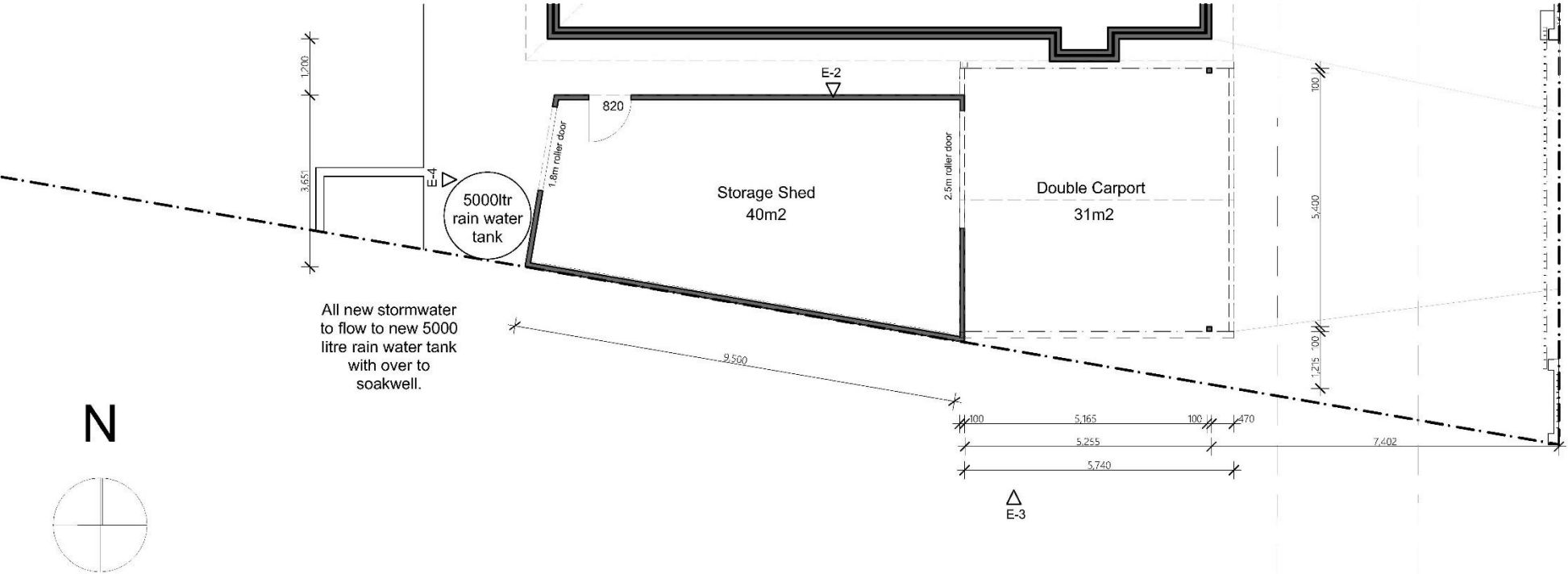
Generic Perspective (3)

1:200

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DA0013/23

27 February 2023



0.

Story (1)

1:100

emef
DESIGN

address : 8a Regina Crt Hamilton Hill
Ph. : 0423 455 527
Email: motiveforcedesign@gmail.com.au

CLIENT/PROJECT: Lachlan and Mariana Enright
Proposed New Carport, Shed and Front Fence at 1
Collick st Hilton

DRAWING TITLE
Floor Plan

PROJECT STATUS:
Development Application

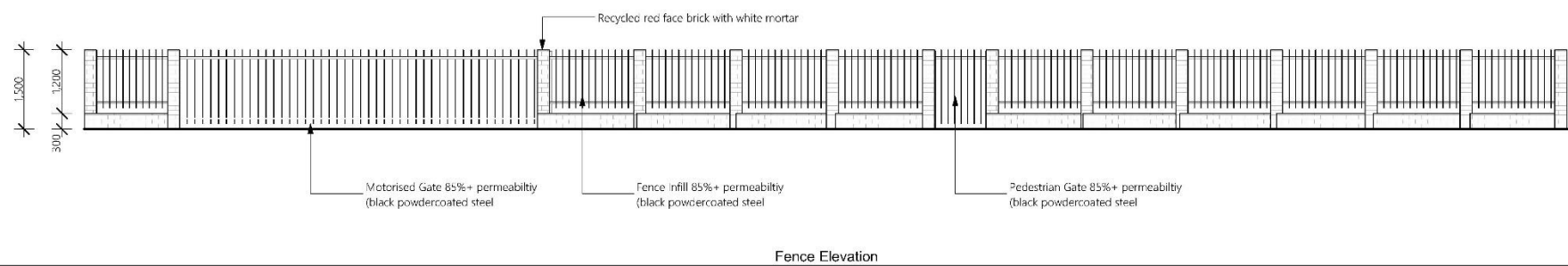
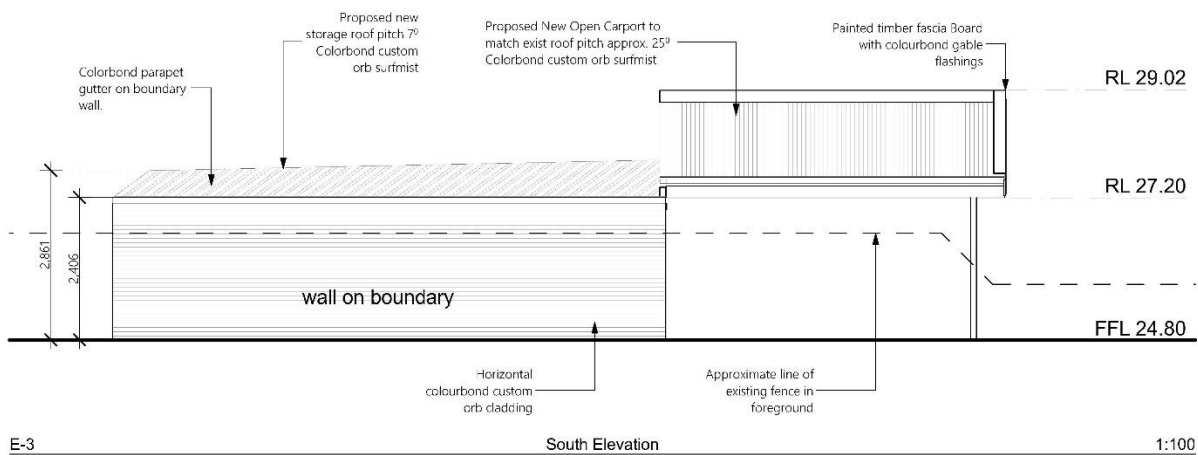
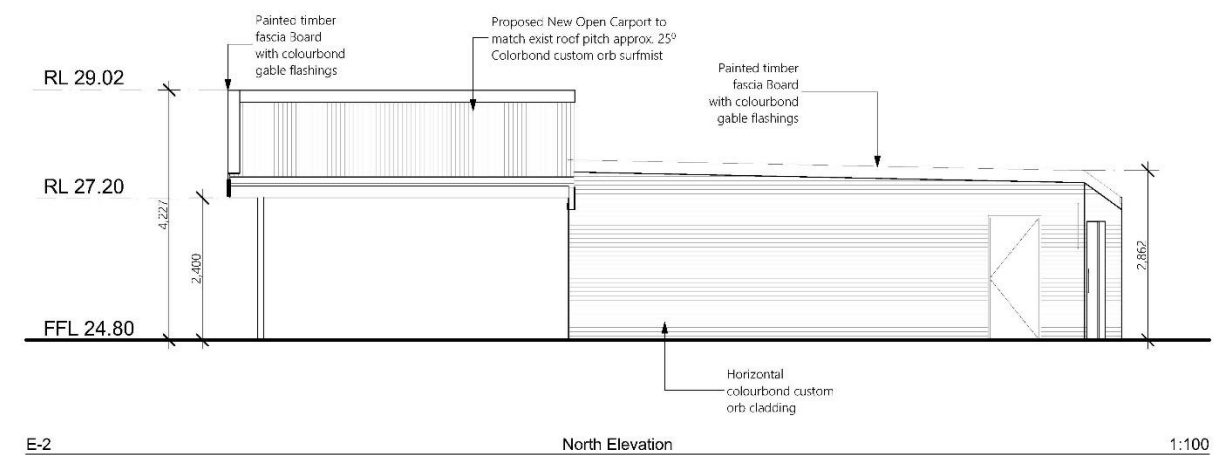
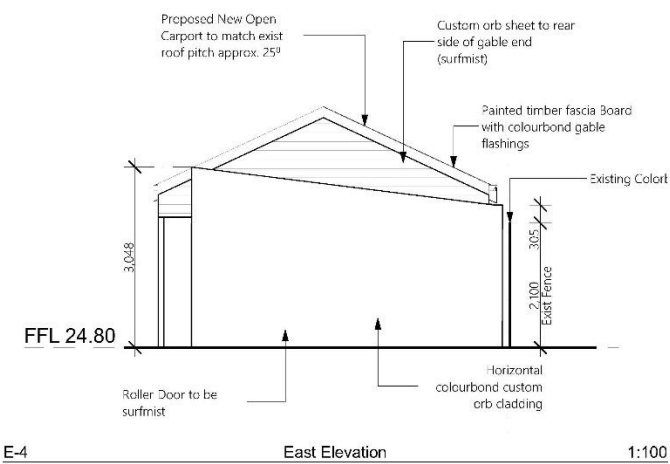
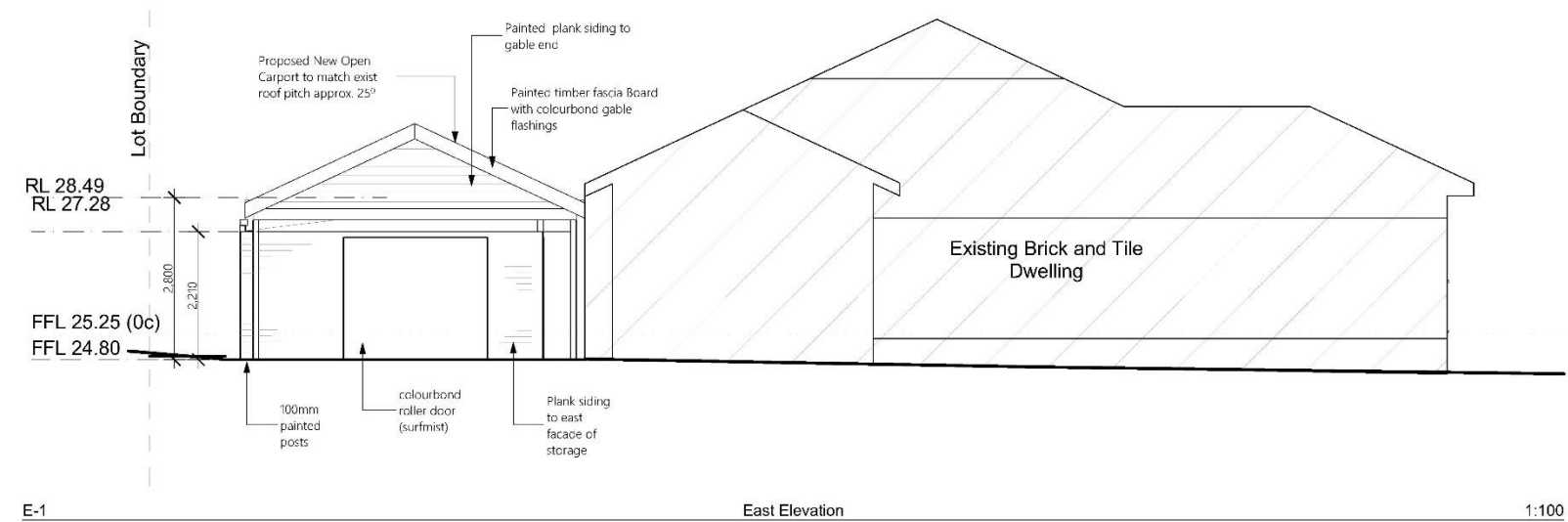
DESIGNER:
A 1
DRAWN:
ARIFIN IRIKS

SCALE:
As shown @ A3
REVISION DATE:
27/02/2023

PROJECT NO:
0192
REVISION
0001

DWG NO:

02



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27 February 2023

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Naturaliste Land Surveys

19 Robertson Place, Bibra Lake WA 6163
Tel 041 145 0784 email pag@westnet.com.au

NLS-2743 Lic. Svyr. P. A. GRANT Plan Drafted 4.10.2022 220564

LEGEND

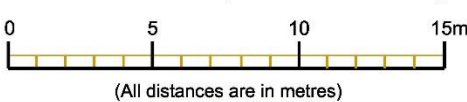
- 41.6 LOT BOUNDARY AND LENGTH
- 260 CONTOUR LINE & LEVEL (RL)
- 260.0 SURVEY OBSERVATION POINT RL (AHD)
- SURVEY OBSERVATION POINT SYMBOLS
- SEWER : LINE, SEWER MANHOLE (MH), INLET/OUTLET
- OVERHEAD POWERLINE, POWER POLE & (W/P) DOME
- FLORA - Trees, Shrubs, Bushes etc.
- EDGE OF PAVING, CONCRETE, GARDEN AREAS
- TELSTRA PIT & MH, OTHER COMMS MH (COVER)
- WATER METER, WATER TAP
- FENCE POST/PILLAR & FENCE LINE
- STORMWATER (DRAINAGE) : GRATE, M/H
- GATE
- Upward direction of STEPS/RAMPS
- 'L' - LOW, 'H' - HIGH 'E.G.B.' DENOTES ELEVATED GARDEN BED
- 'LRW' DENOTES LIMESTONE RETAINING WALL
- 'CBF' DENOTES COLORBOND FENCE

ANY OTHER SYMBOLS NOT PRESENTED ABOVE ARE SHOWN DESCRIBED WITHIN GRAPHIC.

NOTES:

- LEVELS SHOWN IN SLOPING DIGITS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- LEVELS SHOWN ARE ALL CALCULATED FROM SEWER MH W8686.
- LEVELS SHOWN ARE CALCULATED AND OBSERVED BASED ON THE ABOVE RESOURCE.
- CONTOURS SHOWN ARE PLOTTED AT AN INTERVAL OF 0.25 METRE.
- CADASTRAL BOUNDARIES NOT CHECKED.

SCALE 1 : 200 (on A3 Sheet size)



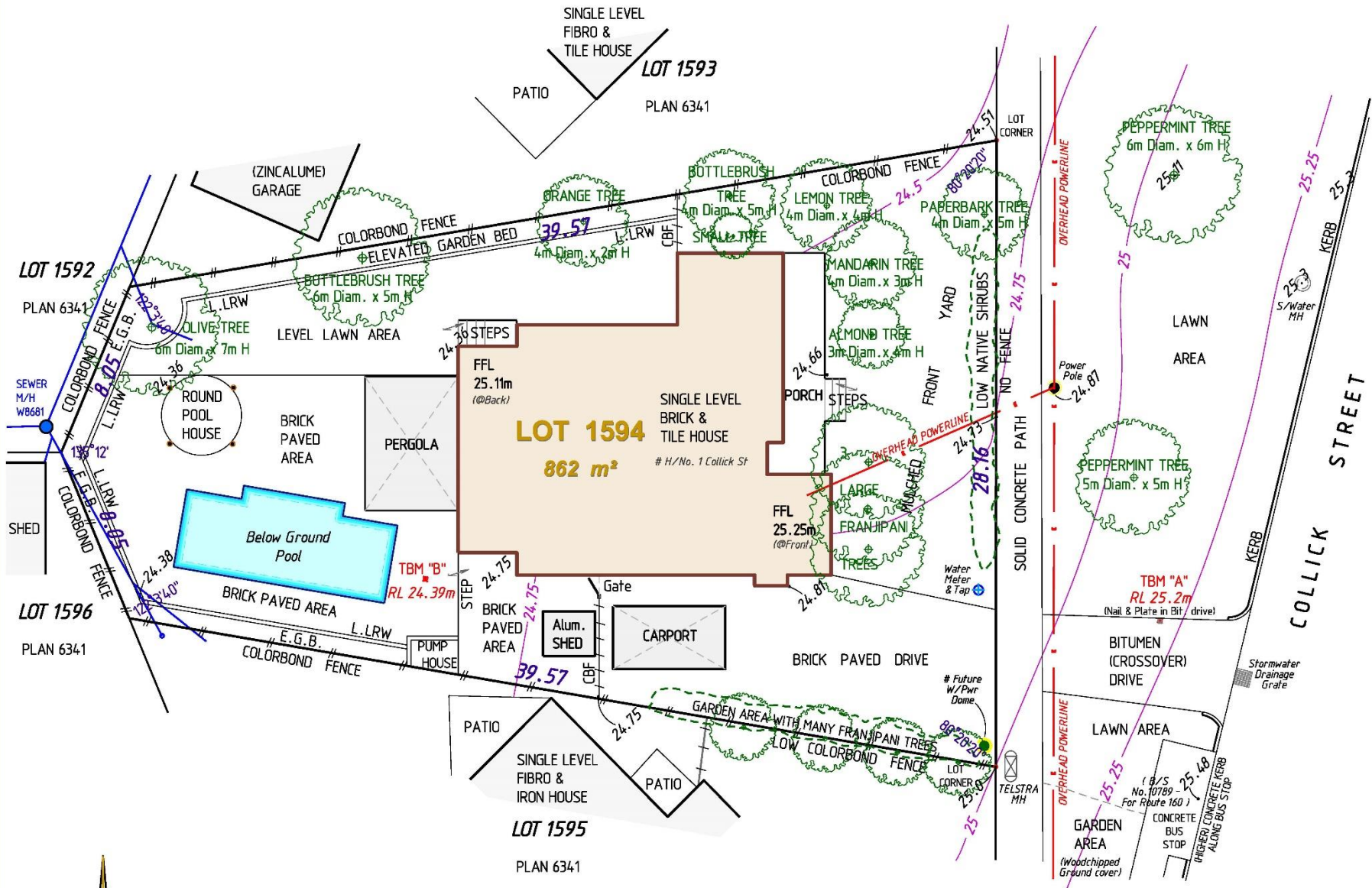
JOB No. 2743
INVOICE No.
DATE OF SURVEY 30.9.2022
LOCALITY OF HILTON
LGA : CITY OF FREMANTLE
Certificate Of Title No. Vol 1150 Folio 128

CLIENT : LAUGHLIN & MARIANA ENRIGHT

THIS PLAN HAS BEEN PRODUCED AS A :

SITE SURVEY OF LOT 1594 ON PLAN 6341

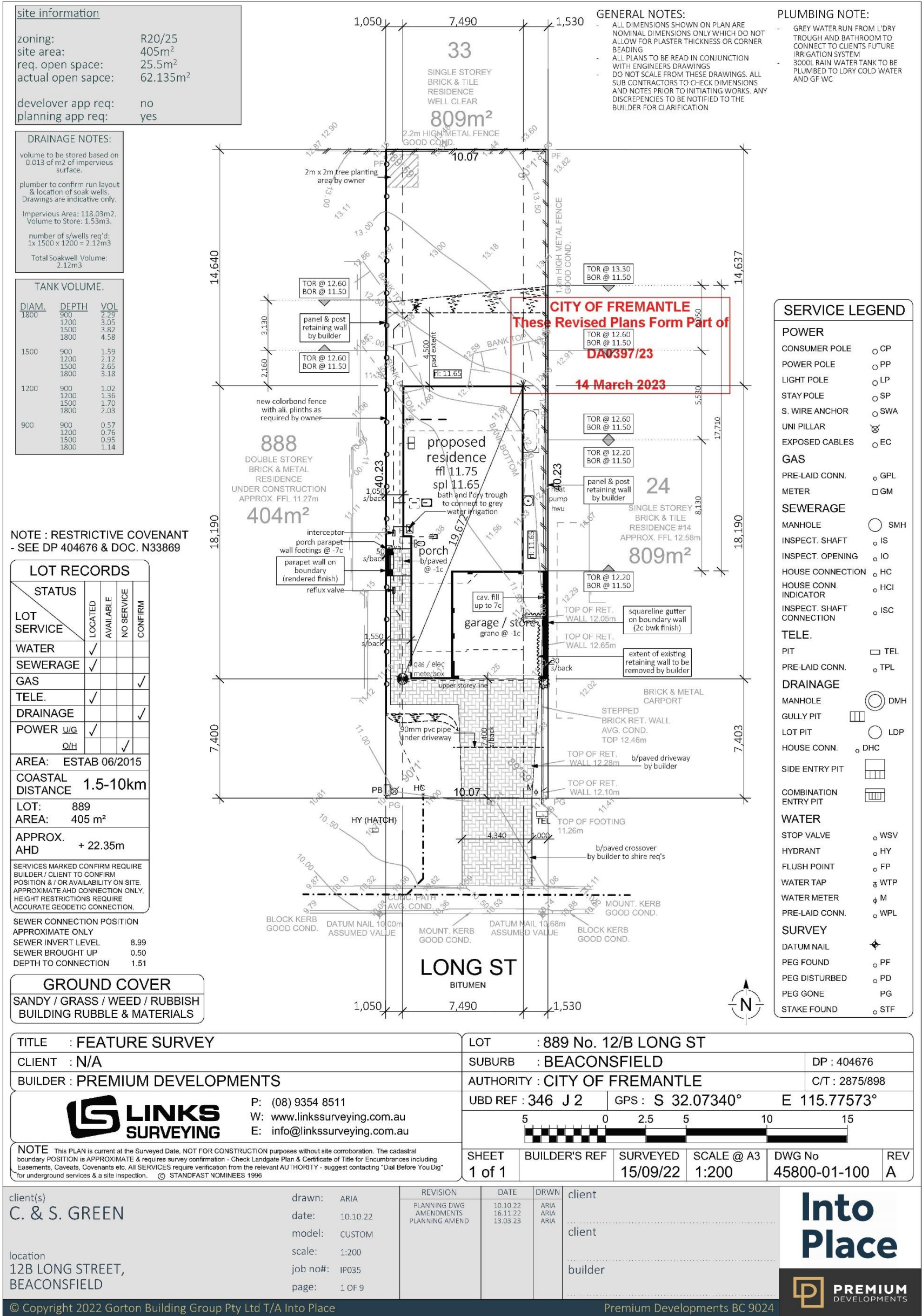
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< WESTERN AUSTRALIA >

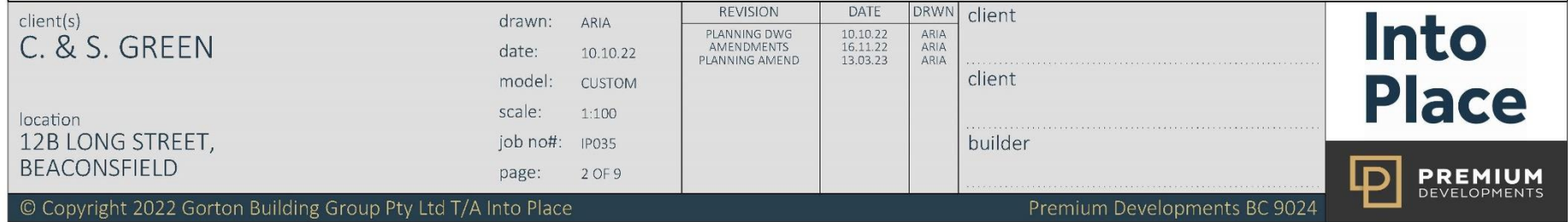


CITY OF FREMANTLE
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DA0013/23
27 February 2023



PC2304-4 LONG STREET, NO. 12B (LOT 889), BEACONSFIELD – TWO STOREY SINGLE HOUSE (ED DA0397/22)
ATTACHMENT 1 – Amended Development Plans







GENERAL NOTES:

- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS
- DO NOT SCALE FROM THESE DRAWINGS. ALL SUB CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE BUILDER FOR CLARIFICATION

ROOF NOTE:

- GROUND FLOOR ROOF, PITCH @ 25° TO HOME UNLESS NOTED OTHERWISE
- UPPER FLOOR ROOF, PITCH @ 30° TO HOME
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS1684
- GROUND FLOOR CEILINGS @ 31c UNO
- FIRST FLOOR CEILINGS @ 28c + PLATE UNO

BRICKLAYER NOTES:

- 230W CAVITY BRICKWORK THROUGHOUT UNLESS NOTED OTHERWISE
- WEEPHOLES @ MINIMUM 1200CTRS TO CAVITY BRICKWORK

FIXING CARPENTER NOTE:

- ALL LINENS / CLOAKS / WIP / PTY TO BE FITTED WITH 4x450d SHELVES UNLESS NOTED OTHERWISE
- ALL ROBES / WIR TO BE FITTED WITH 1x 450d SHELF & RAIL @ 1750 AFL UNLESS NOTED OTHERWISE

DOOR NOTE

- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF B.C.A VOL. 2
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM

CONCRETOR NOTES:

- TOP OF FOOTINGS TO PIERS AND POSTS TO BE -2c FROM NOMINATED FLOOR FINISH RL

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS, MAY BE RELOCATED AT PLUMBERS DISCRETION

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

INSULATION NOTES:

- R4.1 CEILING INSULATION AS PER ENERGY ASSESSMENT
- CAVITY WALL INSULATION TO HOUSE EXTERNAL CAVITY WALLS AS PER ENERGY ASSESSMENT

PLASTERER NOTES:

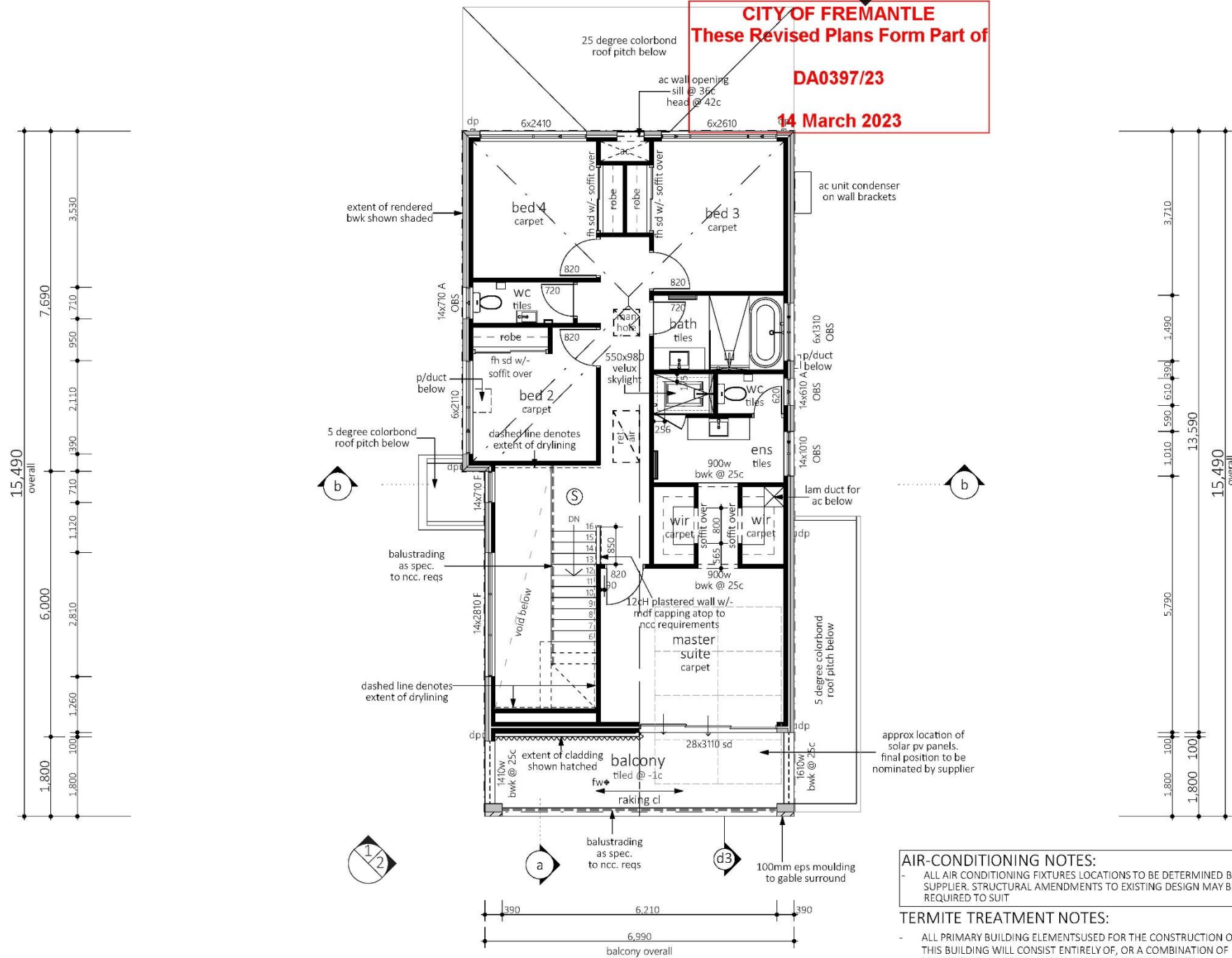
- ACRYLIC RENDER TO EXTERNAL WALLS SHOWN SHADED, REFER ELEVATIONS
- METAL ANGLE BEADS TO ALL INTERNAL WALL CORNERS
- DO NOT COVER WEEPHOLES WITH RENDER

FLASHING NOTE:

- ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHINGS

N.C.C NOTES:

- ALL BALUSTRADING & HANDRAILS TO BE IN ACCORDANCE WITH NCC (BCA VOL 2) CLAUSE 3.9.2
- STAIRWAY TREADS NON-SLIP TO TABLE 3.9.13 NCC VOL.2
- PROTECTION TO OPENABLE WINDOWS IN ACCORDANCE WITH 3.9.2.6 NCC VOL.2 (UPPER FLOOR ONLY)
- ALL SMOKE ALARMS TO BE HARD WIRED, INTERCONNECTING AS PER NCC (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786
- SMOKE ALARMS DENOTED AS (S)



first floor areas		
	perim. (m)	area (m²)
house	42.36	99.80
balcony	17.78	12.93
		112.73 m²

overall roof cover quants	
roof cover	Metal Deck
Surface [m2 on the rake]	162.84
Area [m2 on the flat]	142.93

first floor plan

client(s)
C. & S. GREEN

location
12B LONG STREET,
BEACONSFIELD

drawn: ARIA
date: 10.10.22
model: CUSTOM
scale: 1:100
job no#: IP035
page: 3 OF 9

REVISION	DATE	DRWN
PLANNING DWG	10.10.22	ARIA
AMENDMENTS	16.11.22	ARIA
PLANNING AMEND	13.03.23	ARIA

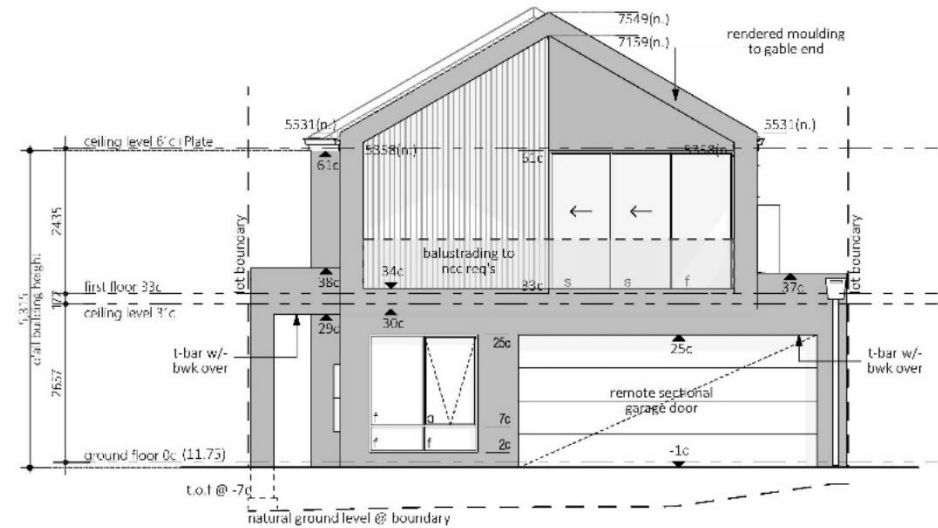
client
client
builder

Into
Place





client(s) C. & S. GREEN		drawn: ARIA
location 12B LONG STREET, BEACONSFIELD		date: 10.10.22
		model: CUSTOM
		scale: 1:100
		job no#: IP035
		page: 4 OF 9
		REVISION
		DATE
		DRWN
client		client
builder		builder
Premium Developments BC 9024		



NOTES:

- colorbond roof - pitch at 25° to ground floor roof u.n.o
- colorbond roof - pitch at 30° to first floor roof u.n.o
- shaded windows indicate obscured glazing

MATERIALS SCHEDULE:

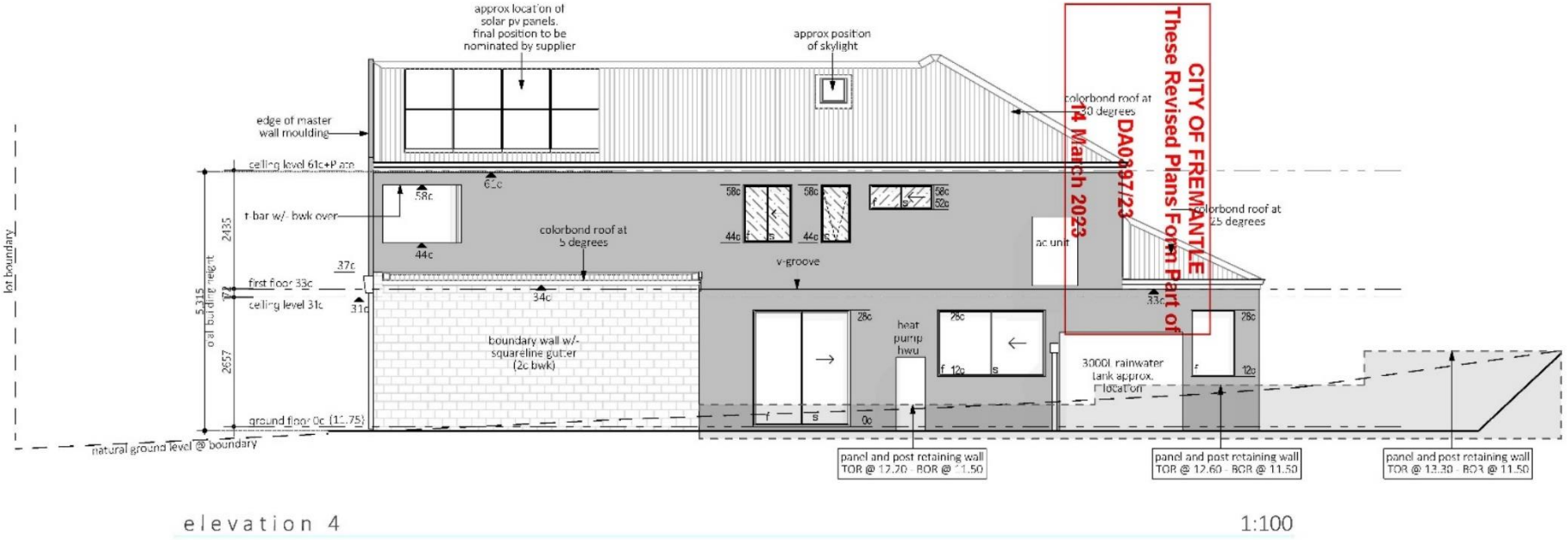
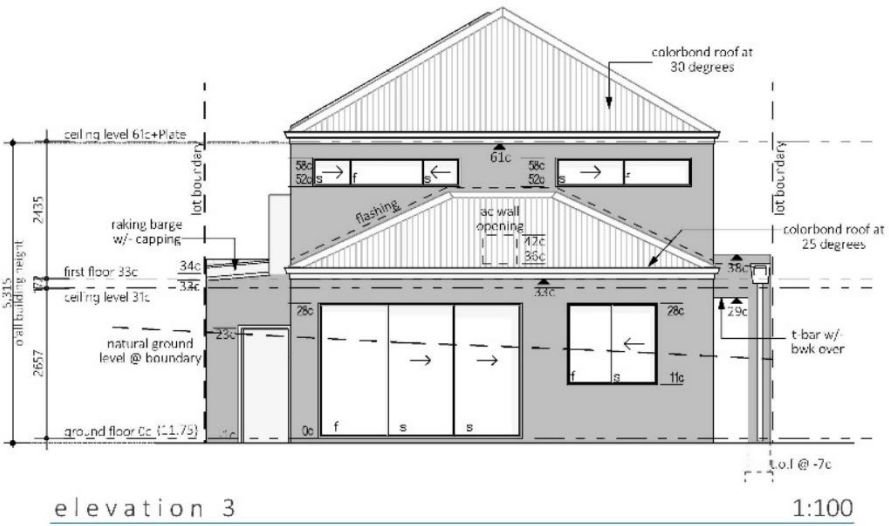
- render colour 1
- 2c face brickwork
- nominated cladding





NOTES:
- colorbond roof - pitch at 25° to ground floor roof u.n.o
- colorbond roof - pitch at 30° to first floor roof u.n.o
- shaded windows indicate obscured glazing

MATERIALS SCHEDULE:	
	render colour 1
	2c face brickwork
	nominated cladding



client(s)
C. & S. GREEN

location
**12B LONG STREET,
BEACONSFIELD**

drawn: ARIA
date: 10.10.22
model: CUSTOM
scale: 1:100
job no#: IP035
page: 5 OF 9

REVISION

1	TRADING DAYS AMENDMENTS PLANNING AMEND	DATE 10.10.22 10.11.22 13.03.23	DRWN ARIA ARIA
---	--	--	----------------------

client

builder

Intro Place

PREMIUM DEVELOPMENTS

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Premium Developments BC 9024

PC2304-5 AINSLIE ROAD, NO. 3A (LOT 300), NORTH FREMANTLE – ADDITIONS (SECOND STOREY) AND ALTERATIONS TO EXISTING SINGLE HOUSE (JZ DA0004/23)

ATTACHMENT 1 – Amended Plans

PLANNING AMENDMENT 15.03.2023

AINSLIE RD RENO

3A AINSLIE ROAD,
NORTH FREMANTLE, 6159
CITY OF FREMANTLE
JENNY & DAVID COOK

CITY OF FREMANTLE
These Revised Plans Form Part of
DA0004/23
16 March 2023





SITE PLAN

SCALE @ 1:100 (A1)

LANDSCAPING LEGEND



GRASS

GRASSED AREA WITH RETICULATION. SPECIES TBC BY LANDSCAPE DESIGNER / ARCHITECT



GRASS / GARDEN BED

LANDSCAPED GARDEN BEDS WITH RETICULATION. SPECIES TBC BY LANDSCAPE DESIGNER / ARCHITECT



CONCRETE AGG

CONCRETE AGG AS SPECIFIED

SOAKWELL LEGEND

NOTE: EXISTING SOAKWELLS NOT SHOWN AS LOCATIONS ARE UNKNOWN. BUILDER TO CONFIRM ON SITE ALL DETAILS AND ADJUST TO SUIT PROPOSED WORKS

PROPOSED SITE COVER (R20)

TOTAL SITE = 300.3m²

PROPOSED SITE COVER = 136.57m²

SITE COVER PERCENTAGE = 45.47%

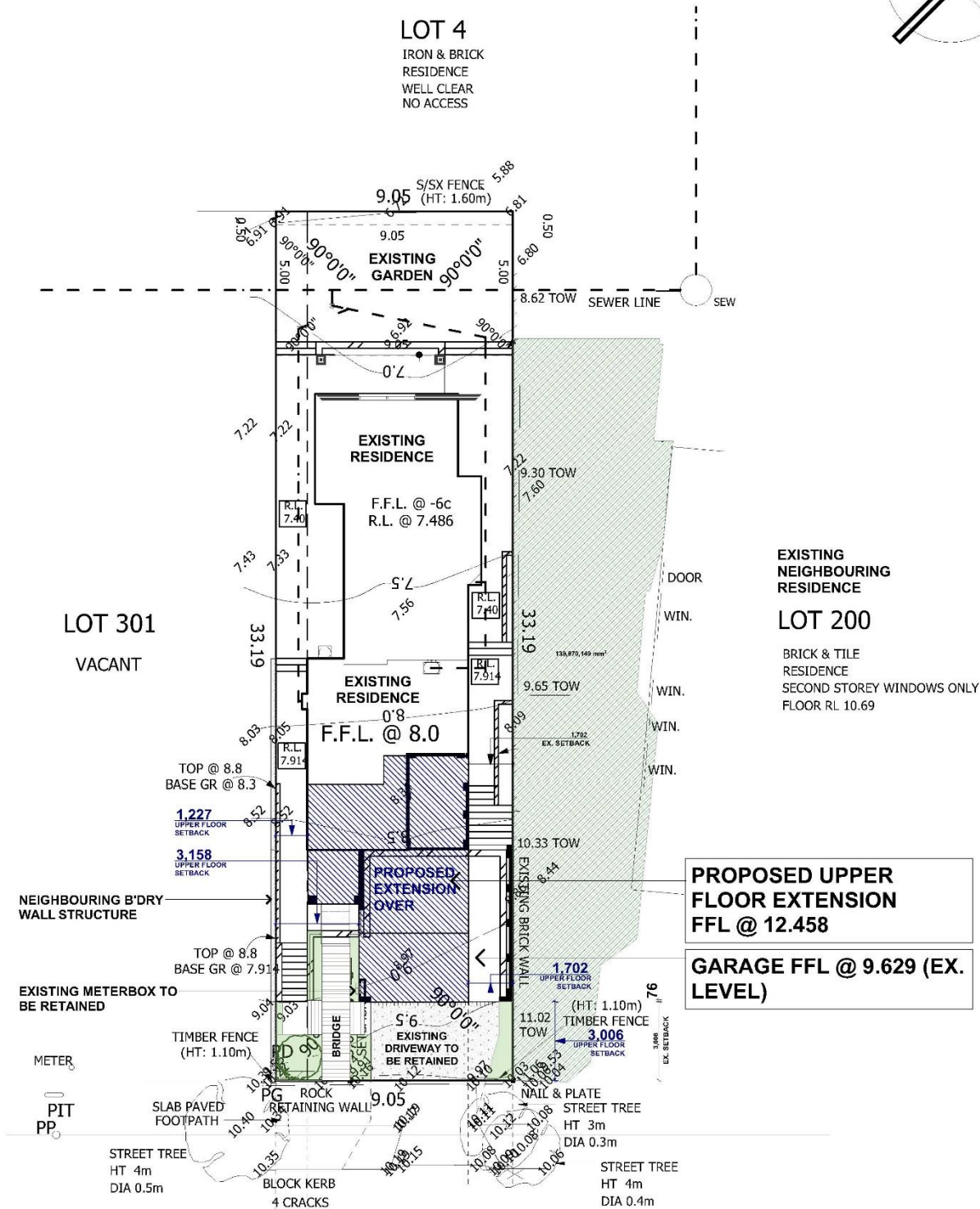
OPEN SPACE PERCENTAGE = 54.53%

OVERSHADOWING CALCULATIONS:

NEIGHBOURING LOT TO SOUTH = 780m²

R25 PERMITS 25% OVERSHADOWING

PROPOSED OVERSHADOWING CREATES 139.87m² OF SHADOWS CAST AT MIDDAY ON 21st JUNE = 17.9%



CLIENT	COOK
LOT	300 #3A AINSIE ROAD
AUTHORITY	EAST FREMANTLE
SUBURB	NORTH FREMANTLE
MAP REF.	400 14 31
PLAN	55850
C/T Vol.Fol.	

AUTOMATED SURVEYS
LICENSED SURVEYORS AND DEVELOPMENT CONSULTANTS

PTY
LTD

3 Ord Street
West Perth
W.A. 6005

P.O. Box 1648
West Perth
W.A. 6872

Telephone: +61 (08) 9214 1777
Facsimile: +61 (08) 9214 1778

SERVICE INFORMATION

GAS	BTC	WATER	YES	TBE	PRELAI	DEPTH	N/A
AREA	ESTABLISHED	TELSTRA	YES	TBE	POWER	U/G	
WATER	SV STOP VALVE	HY HYDRANT	FP FLUSH POINT	METER	WATER METER		
SEWERAGE	SEW SEWER MANHOLE	IS INSPECTION SHAFT	IQ INSPECTION OPENING	GAS	GAS	GAS METER	
POWER	CP CONSUMER POLE	PP POWER POLE	LP LAMP POST	SP STAY POLE	PD POWER DOME		
STORMWATER	SW MANHOLE	GRATE	SIDE ENTRY PIT	TELSTRA	PIT TELSTRA PIT		
SURVEY	PF PEG FOUND	Pdist PEG DISTURBED	PG PEG GONE	STATION	DATUM / CONTROL		

The information on this drawing is current as at the date of survey.
Services are to be confirmed with relevant Authorities.
This includes without limitation:
Sewerage, Water Supply, Drainage, Power Supply, Gas Supply & Communications.
Further Interests / notifications / encumbrances may be listed on the Certificate of Title.
Location of boundary in relation to fences or boundary markers is not guaranteed.
Boundary is placed arbitrarily as per 'best fit'. Repay Survey will be required.
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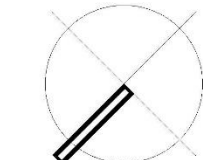
COOK RENO

STRUCTURAL NOTE:
DESIGN IS SUBJECT TO STRUCTURAL ENGINEERS REVIEW. OVERALL DESIGN MAY CHANGE DEPENDENT AT BL STAGE - DETAIL & TBC

BUILDER SPECIFICATION:
BUILDER SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN ALL INSTANCES. REFER DOCUMENTS FOR DETAILS

STAGING NOTE:
REFER BUILDER SCOPE OF WORKS AND ASSOCIATED WORKS AS PER THE BUILD CONTRACT. DOCUMENTATION REFLECTS ENTIRE PACKAGE OF WORKS AND NOT THE BUILDER AND CLIENTS AGREED EXTENT OF WORKS DURING TENDER.

LANDSCAPING NOTE:
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COOK RENOVATION
DA01
PLOT DATE Thursday, 16 March 2023

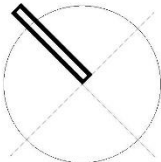


SITE ANALYSIS

SCALE @ NTS

COOK RENO

STRUCTURAL NOTE: DESIGN IS SUBJECT TO STRUCTURAL ENGINEERS REVIEW. OVERALL DESIGN MAY CHANGE DEPENDENT AT BL STAGE - DETAILS TBC
BUILDER SPECIFICATION: BUILDER SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN ALL INSTANCES. REFER DOCUMENTS FOR DETAILS
STAGING NOTE: REFER BUILDER SCOPE OF WORKS AND ASSOCIATED WORKS AS PER THE BUILD CONTRACT. DOCUMENTATION REFLECTS ENTIRE PACKAGE OF WORKS AND NOT THE BUILDER AND CLIENTS AGREED EXTENT OF WORKS DURING TENDER.
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DETAILED AERIAL PHOTO



OVERALL AERIAL PHOTO

CITY OF FREMANTLE
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DA0004/23
16 March 2023



EXISTING SITE PHOTO 1

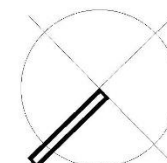


EXISTING SITE PHOTO 1

C	PLANNING	04/01/23
U	PLANNING	23/02/23
A	CLIENT REVIEW	23/02/23
DATE	APPROVAL FOR ISSUE	DATE
COOK RENOVATION		
3A AINSLIE RD, NORTH FREMANTLE CITY OF FREMANTLE		
SITE ANALYSIS		
DA02		C
PILOT DATE		Thursday, 16 March 2023

SCALE @ 1:50 (A1)@ 1:100 (A3)

STRUCTURAL NOTE: DESIGN IS SUBJECT TO STRUCTURAL ENGINEERS REVIEW. OVERALL DESIGN MAY CHANGE DEPENDING AT BL STAGE - DETAILS TBC BUILDER SPECIFICATION: BUILDER SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN ALL INSTANCES. REFER DOCUMENTS FOR DETAILS STAGING NOTE: REFER BUILDER SCOPE OF WORKS AND ASSOCIATED WORKS FOR THE BUILD STAGE. DOCUMENTATION REFLECTS ENTIRE PACKAGE OF WORKS AND THE BUILD CONTRACT HAS AGREED EXTENT OF WORKS DURING TENURE. LANDSCAPING NOTE: REFER BUILDER SCOPE OF WORKS AND ASSOCIATED WORKS FOR THE BUILD STAGE. ALL SOFTSCAPE ELEMENTS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY - REFERENCE TO DETAILS FOR LANDSCAPING.
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E	PLANNING AGREEMENT	15.00
D	PLANNING	08.01
C	PLANNING	23.12
B	CLIENT REVIEW	10.70
A	PRELIMINARY REVIEW	19.00

COOK
RENOVATION
3A ANSLEY ROAD, NORTH FREMANTLE
CITY OF FREMANTLE

GE PLAN

DA03

PLOT DATE

E



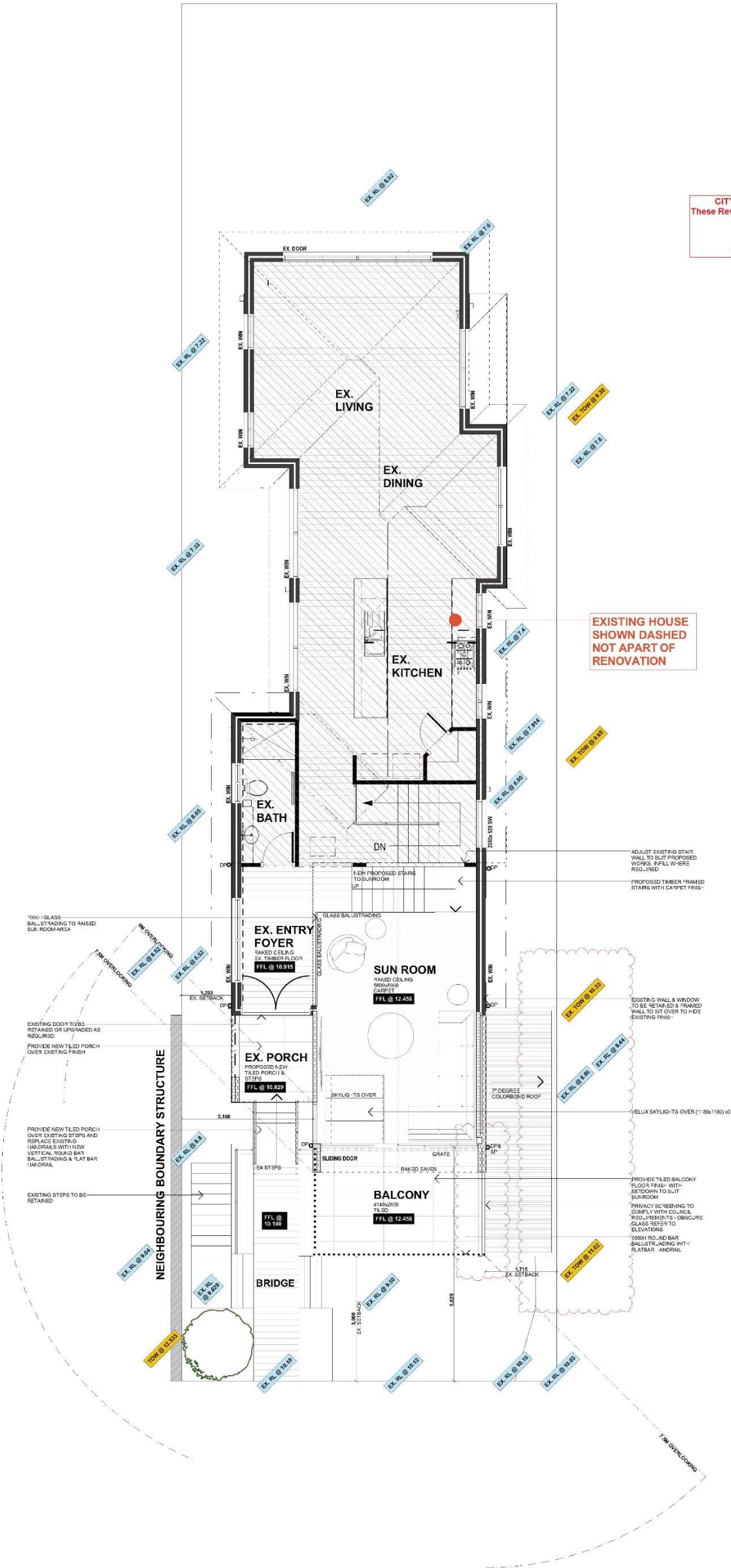
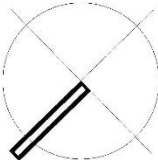
UPPER FLOOR PLAN

SCALE @ 1:50 (A1) @ 1:100 (A3)

COOK RENO

- STRUCTURAL NOTE:**
DESIGN IS SUBJECT TO STRUCTURAL ENGINEERS REVIEW. OVERALL DESIGN MAY CHANGE DEPENDENT AT BL STAGE - DETAILS TBD
- BUILDER SPECIFICATION:**
BUILDERS SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS IN ALL INSTANCES. REFER DOCUMENTS FOR DETAILS
- STAGING NOTE:**
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- LANDSCAPING NOTE:**
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CITY OF FREMANTLE
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16 March 2023



F	PLANNING AREA/DATE	15.03.23
E	PLANNING AREA/DATE	15.03.23
D	PLANNING	28.01.23
C	PLANNING	23.12.22
B	CLIENT REVIEW	15.10.22
A	PRELIMINARY REVIEW	15.09.22
000	REVISION/REASON FOR ISSUE	000

COOK RENOVATION
DA ANBLE ROAD, NORTH FREMANTLE
CITY OF FREMANTLE

UF PLAN

DA04

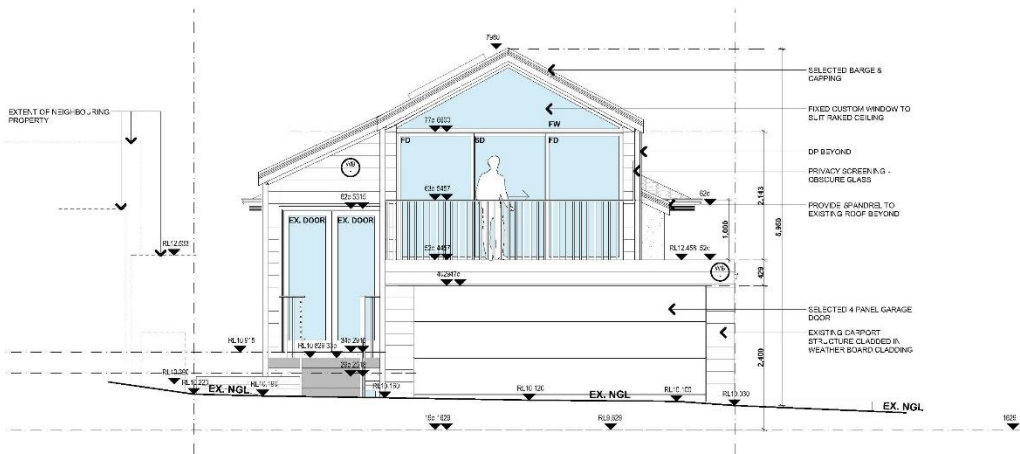
Thursday, 16 March 2023

F

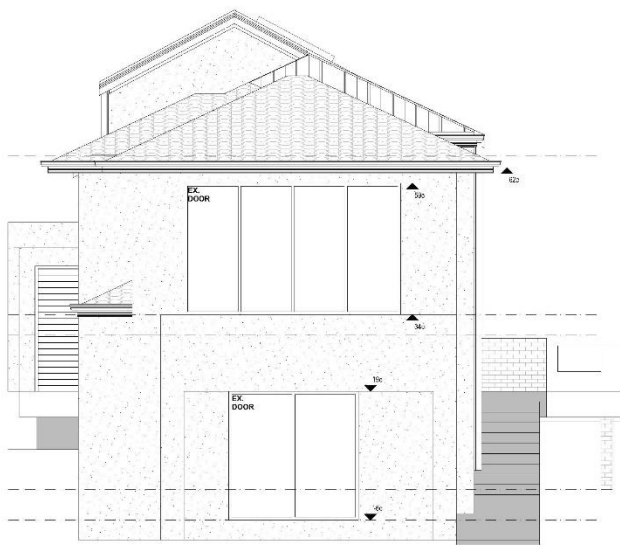


ELEVATIONS

SCALE @ 1:50 (A1) @ 1:100 (A3)

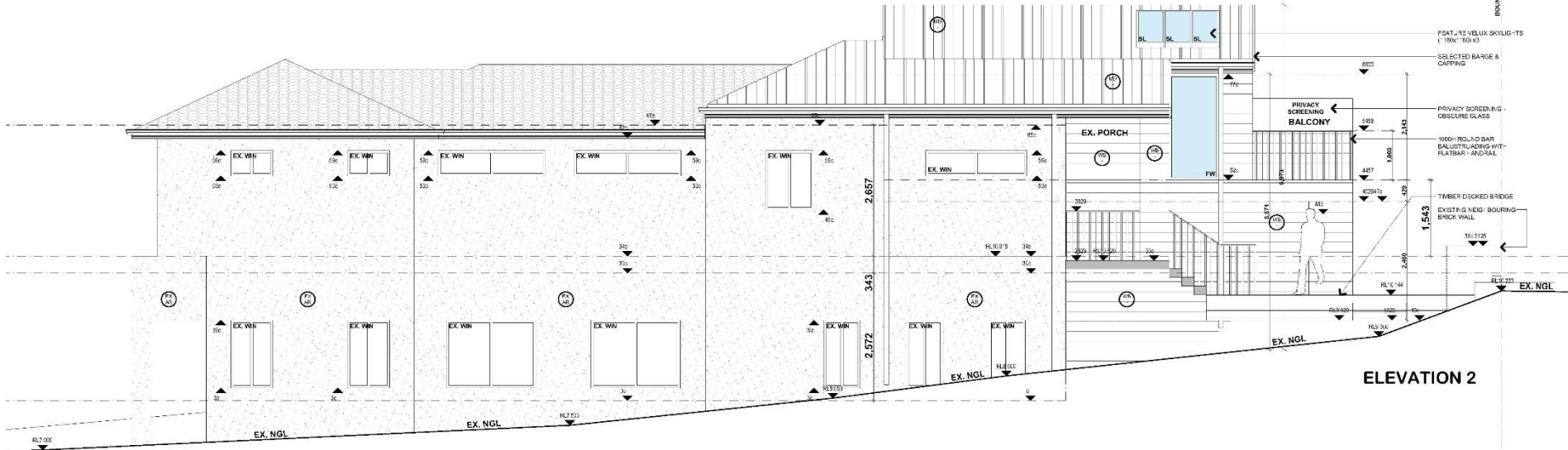


ELEVATION 1

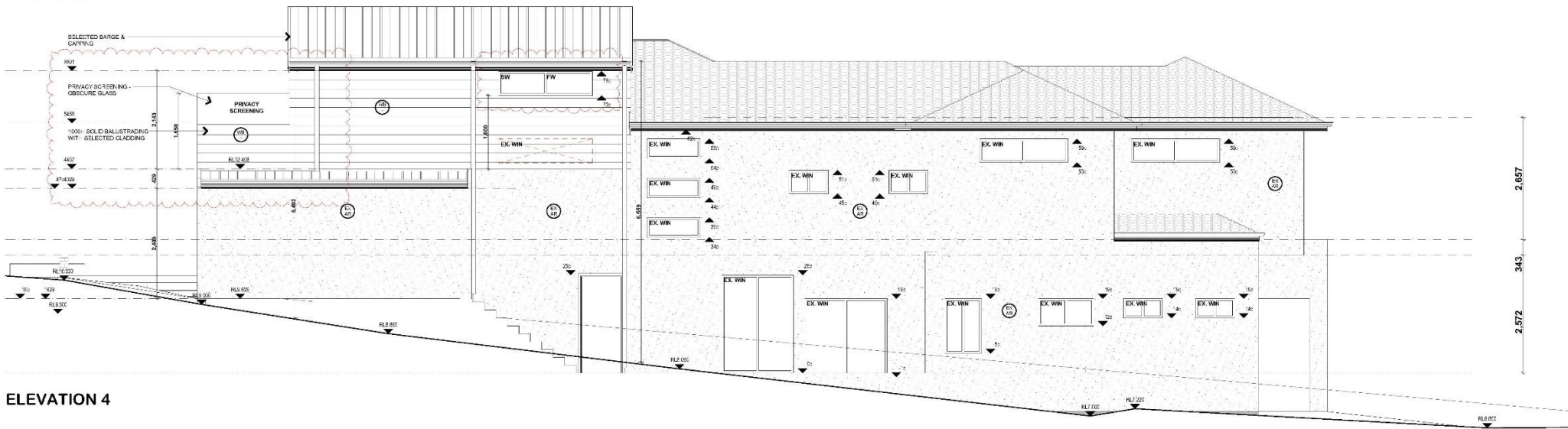


ELEVATION 3

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16 March 2023



ELEVATION 2



ELEVATION 4

COOK RENO

STRUCTURAL NOTE:
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F	PLAN R2 ARB/ENH/1	16/02/23
L	PLAN R2 ARB/ENH/1	30/01/23
D	PLAN R2	09/01/23
C	PLAN R2	20/12/22
B	CLIENT REVIEW	16/01/23
A	PRELIMINARY REV/DW	16/06/22
Issue	Revision For Issue	0000

COOK RENOVATION
3A/ANGLE ROAD, NORTH FREMANTLE
CITY OF FREMANTLE

ELEVATION

DA05

FILE DATE: Thursday, 16 March 2023

F REVISION



3D VISUALS

SCALE NTS



CITY OF FREMANTLE
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DA0004/23
16 March 2023



COOK RENO

STRUCTURAL NOTE:
DESIGN IS SUBJECT TO STRUCTURAL ENGINEER'S REVIEW. OVERALL DESIGN MAY CHANGE DEPENDENT AT B, STAGE - DETAILS TO BE
BUILDER SPECIFICATION:
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STAGING NOTE:
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LANDSCAPING NOTE:
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U

PLANNING/AMENDMENT

18/02/23

C

PLANNING

20/02/23

U

PLANNING

20/02/23

A

CITY OF FREMANTLE

20/02/23

ISSUE

revised plans for issue

000

COOK
RENOVATION

34 ANSEL ROAD, NORTH FREMANTLE
CITY OF FREMANTLE

3D PERSPECTIVES

DA06

D
REVISION

PLOT DATE

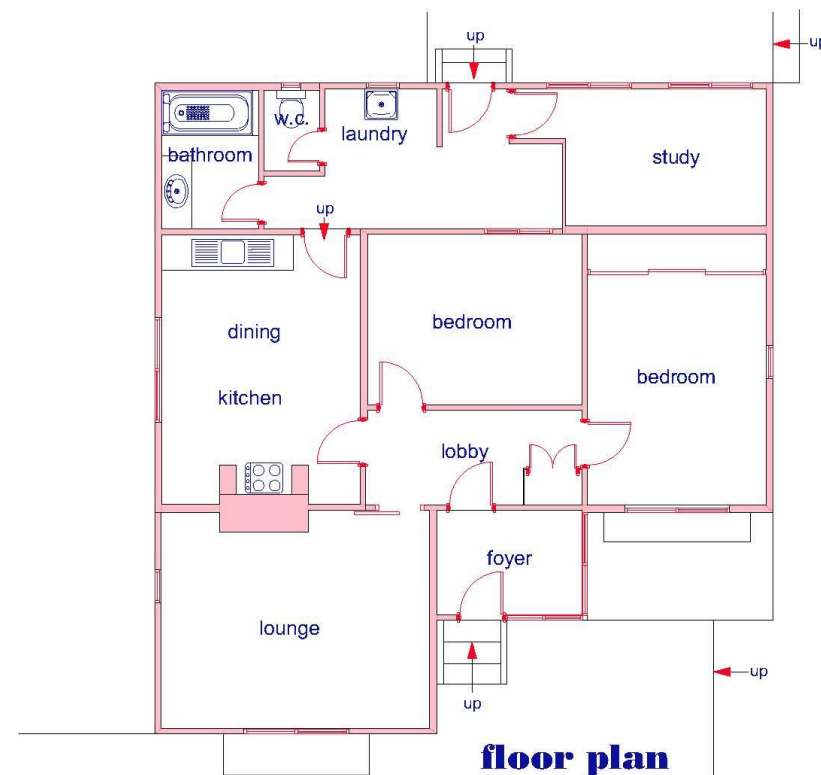
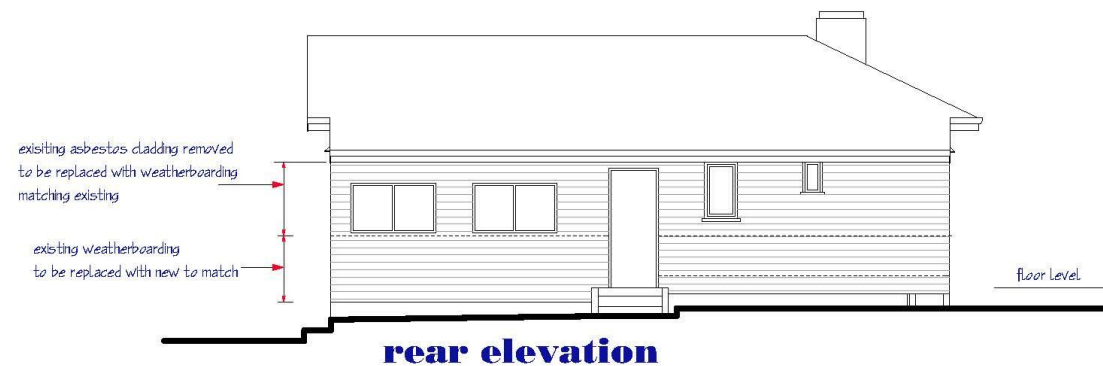
Thursday, 16 March 2023



PC2304-6 OLDHAM CRESCENT, NO. 39 (LOT 1339) HILTON – RE-CLADDING OF EXISTING SINGLE HOUSE (JZ DA0385/22)

ATTACHMENT 1 – Development Plans





Rev.	Date	Description

TECHNICAL DRAFTING SERVICE
Unit 11, 8 Day Road, Rockingham WA 6168
tel / fax: (08) 9592 9111 mob: 0403 718 277
email: emfids@bigpond.com
web: http://www.technicaldrafting.com.au

Project:

**39 Oldham Crescent,
HILTON.**

Drawing:

**Proposed re-cladding
existing dwelling**

Scale:	1:100	Date:	October 2022
Drawn By:	MG	Sheet Size:	A3
Job Number:	1272	Drawing Number:	2

CITY OF FREMANTLE
These Plans Form Part of

DA0385/22

16 Nov 2022



PC2304-7 INFORMATION REPORT - APRIL 2023

ATTACHMENT 1 - Schedule of applications determined under delegated authority

1. HOPE STREET NO.91 (LOTS 36 AND 37), WHITE GUM VALLEY – TWO LOT SURVEY STRATA - (JL WAPC50-23)
2. CARRINGTON STREET NO. 170 (LOT 27), HILTON – SUBDIVISION OF EXISTING SINGLE HOUSE - (JZ WAPC19-23)
3. MCCLEERY STREET NO. 12 (LOT 8), BEACONSFIELD – EXTERNAL FIXTURE (SOLAR PANELS) AND PARTIAL REMOVAL OF FENCE TO EXISTING HOUSE - (JZ DA0035/23)
4. HOPE STREET NO.91 (LOTS 36 AND 37), WHITE GUM VALLEY – AMALGAMATION - (ED WAPC163211)
5. VICTORIA QUAY ROAD (LOT 36), FREMANTLE – UNAUTHORISED ADDITIONS TO FREMANTLE PORT AUTHORITY (ED DA0017/23)
6. SOUTH STREET, NO. 161 (LOT 28), WHITE GUM VALLEY - ANCILLARY DWELLING AND GARAGE ADDITION TO EXISTING SINGLE HOUSE (JL DA0423/22)
7. HAMPTON ROAD, 28 (LOT 78), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE – (CM DA0375/22)
8. FORM 15A&C APPLICATION – LOT 505 ON DP412854 – 7 MURPHY STREET O'CONNOR (11 MARSH CLOSE, O'CONNOR) WA 6163 (CM FS0002/23)
9. FORM 15A APPLICATION – 1-3 FORSYTH STREET, O'CONNOR – 2 COMMERCIAL UNITS – (CM FS0001/23)
10. FORM 15A&C APPLICATION – LOT 504 ON DP421854 – 7 MURPHY STREET O'CONNOR WA 6163 (CM FS0003/23)
11. BARNETT STREET, NOS. 11-13 (LOTS 25 & 26), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING HERITAGE DWELLING AND ANCILLARY DWELLING ADDITION TO EXISTING SINGLE HOUSE (ED DA0427/22); AND B. CARPORT ADDITION TO EXISTING SINGLE HOUSE (ED DA0009/23)
12. HAMPTON ROAD, NO. 78 (LOT 30), FREMANTLE - CARPORT ADDITION TO EXISTING HOUSE (JZ DA0022/23)
13. SOUTH STREET, NO. 335 (LOT 1555), HILTON – ANCILLARY DWELLING ADDITION TO EXISTING SINGLE HOUSE - (JZ DA0025/23)



14. SOUTH TERRACE, NO. 74 (LOT 1376), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING MARKET STALL – (CM DA0010/23)
15. HOPE STREET, NO. 122 (LOT 1), WHITE GUM VALLEY – VARIATION TO PREVIOUS PLANNING APPROVAL DA0396/20 (ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE) – VA0001/23
16. TYDEMAN ROAD, NO. 6 (LOT 100), NORTH FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE - (JZ DA0043/23)
17. CLIFF STREET, NO. 36 (LOT 3), FREMANTLE - ROOF TERRACE ADDITION TO EXISTING BUILDING (ED DA0008/23)
18. VICTORIA QUAY RD, (LOT 2133) (MARITIME MUSEUM), NORTH FREMANTLE – DEMOLITION OF CRANE – (JL DA0419/22)
19. HARVEST ROAD, NO. 26 (LOT 302), NORTH FREMANTLE – ADDITIONS (TWO STOREY) AND ALTERATIONS TO EXISTING SINGLE HOUSE – (CM DA0399/22)
20. SOLOMON STREET, 10A (LOT 36), FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE (JL DA0060/23)
21. LIVINGSTONE STREET, 29 (LOT 1), BEACONSFIELD – ADDITIONS AND ALTERATIONS TO EXISTING HOUSE – (JZ DA0007/23)
22. JOHANNAH STREET, NO.5 (LOT 2) - VARIATION TO PREVIOUS PLANNING APPROVAL FOR DA0289/22 (TWO STOREY SINGLE HOUSE) (JL VA002/23)
23. TYDEMAN ROAD, NO. 6 (LOT 100), NORTH FREMANTLE – ADDITION OF WINDOW TO EXISTING SINGLE HOUSE (JD DA0006/23)
24. LIVINGSTONE STREET, NO. 5A (LOT 1), BEACONSFIELD – PATIO ADDITION TO GROUPED DWELLING (JD DA0026/23)
26. AMHERST STREET, NO. 35A (STRATA LOT 2), WHITE GUM VALLEY – SINGLE STOREY GROUPED DWELLING – (JD DA0020/23)
27. JOHN STREET, NO. 33 (LOT 100), NORTH FREMANTLE – CARPORT ADDITION TO EXISTING SINGLE HOUSE (JD - DA0029/23)
28. HAMPTON ROAD, NO. 31 (LOT 4), FREMANTLE – CARPORT ADDITION TO EXISTING SINGLE HOUSE (JZ – DA0037/23)
29. ELLEN STREET, 91 (LOT 200), FREMANTLE – TWO ALLOTMENT SURVEY STRATA – (JL WAPC45-23)



30. SOLOMON STREET, NO. 77 (LOT 115), FREMANTLE – PAINTING OF EXISTING SINGLE HOUSE – (CM DA0019/23)
31. FOUNDRY COURT, NO. 18 (LOT 69), NORTH FREMANTLE – ADDITIONS AND ALTERATIONS TO EXISTING SINGLE HOUSE – (CM DA0398/22)
32. SOLOMON STREET, NO. 113 (LOT 12), FREMANTLE - ADDITIONS TO EXISTING SINGLE HOUSE – (JD DA0028/23)
33. FORMER NAVAL STORES, 141 (LOT 602) QUEEN VICTORIA STREET, FREMANTLE - UNAUTHORISED ADDITIONS TO EXISTING BUILDING – (ED DA0027/23)
34. MICHAEL STREET, NO. 1 (LOT 3 & 4), BEACONSFIELD - SURVEY-STRATA SUBDIVISION - (JD – WAPC25-23)
35. NICHOLAS CRESCENT, NO.8 (STRATA LOT 1), HILTON - CARPORT ADDITION TO EXISTING SINGLE HOUSE - (JL DA0032/23)
36. THOMPSON ROAD, NO. 5 (LOT 604), NORTH FREMANTLE - PRIMARY STREET FENCE TO EXISTING SINGLE HOUSE – (JD DA0049/23)
37. BOWEN STREET, NO. 29 (LOT 4), O’CONNOR – FENCING ADDITION TO EXISTING INDUSTRIAL BUILDING – (CM DA0070/23)
38. ESSEX STREET, NO. 21 (LOT 9), FREMANTLE - PROPOSED ALTERATIONS TO EXISTING COMMERCIAL BUILDING – (JD DA0059/23)
39. ETHELYWN STREET, NO.16 (LOT 81), HILTON – RETAINING WALL ADDITION - (JZ DA0041/23)
40. DALY STREET, NO. 47 (STRATA LOT 4), SOUTH FREMANTLE – BOUNDARY FENCE ADDITION TO EXISTING GROUPED DWELLING – (CM DA0073/23)
41. THOMPSON ROAD, NO.94 (LOT 100), NORTH FREMANTLE – SIGNAGE ADDITIONS TO EXISTING BUILDING (JL DA0074/23)
42. STOKES STREET, NO. 6 (LOT 23), WHITE GUM VALLEY – ADDITIONS AND ALTERATIONS (TWO STOREY) TO EXISTING SINGLE HOUSE – (CM DA0380/22)
43. WOOD STREET, NO. 38 (LOT 3), WHITE GUM VALLEY – REPLACEMENT OF WEATHER BOARDS TO EXTERIOR OF EXISTING HOUSE (JZ DA0081/23)
44. HENDERSON STREET, NO. 45 (LOT 100), FREMANTLE - SIGNAGE ADDITION TO EXISTING HOTEL - (JZ DA0024/23)



45. SOUTH TERRACE, NO. 225 (LOT 2), SOUTH FREMANTLE – CHANGE OF USE TO COMMUNITY PURPOSE & ADDITIONS – (CM DA0042/23)
46. MALCOLM STREET, NO. 35 (LOT 3), FREMANTLE - SECOND STOREY ADDITION TO EXISTING HOUSE – (JD DA0031/23)
47. MARKET STREET NO.93-97 (LOT) FREMANTLE – SECTION 40 CERTIFICATE (RESTAURANT) (JL LL0001/23)
48. HAMPTON ROAD, NO. 180 (LOT 1), BEACONSFIELD – ADDITIONS TO EXISTING GROUPED DWELLING (ED DA0038/23)
49. ADELAIDE STREET, NO. 2/6 (LOT 2), FREMANTLE – INTERNAL ALTERATIONS TO EXISTING BUILDING (ED DA0072/23)
50. CARNAC STREET, NO. 43 (LOT 6), FREMANTLE - PATIO ADDITION TO EXISTING HOUSE – (JD DA0071/23)
51. ESSEX STREET, NO. 19 (LOT 8), FREMANTLE – INTERNAL ALTERATIONS TO EXISTING BUILDING AND CHANGE OF USE TO 'PUBLIC AMUSEMENT' - (JZ DA0065/23)
52. COLLICK STREET, NO. 29 (LOT 11), HILTON - CARPORT ADDITION TO EXISTING HOUSE - (JD DA0078/23)
53. PEEL ROAD, NO. 52 (LOT 105), O'CONNOR - ADDITIONS TO EXISTING WAREHOUSE – (JD DA0036/23)
54. COLLICK STREET NO 82 (LOT 501), HILTON – ADDITIONS AND ALTERATIONS TO EDUCATIONAL ESTABLISHMENT - (JL DA00089/23)
55. HARVEST ROAD, NO. 55 (LOT 4), NORTH FREMANTLE – GATE ADDITION TO EXISTING SINGLE HOUSE – (CM DA0079/23)
56. DALY STREET, NO.12 (LOT 116), SOUTH FREMANTLE – SWIMMING POOL ADDITION TO EXISTING SINGLE HOUSE (JL DA0094/23)
57. GREY STREET, NO. 13 (LOT 2), FREMANTLE - PATIO ADDITION TO EXISTING HOUSE - (JD DA0063/23)